

<b>Planning Committee Dated: 4th November 2020</b> <b>Summary List of Detailed Plans and Applications</b>
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		<b>Recommendation: Approved Conditions and signing of S106</b>
<b>Item:</b>	<b>1</b>	
<b>Application No:</b>	DM/0056/20/FUL	
<b>Application Type:</b>	Full Application	
<b>Application Site:</b>	Land At Bradley Road Barnoldby Le Beck North East Lincolnshire	
<b>Proposal:</b>	Erect 82 dwellings to include garages, access roads and landscaping (amended site layout plans including zebra crossing, boundary treatments and plot repositions - Sept 2020)	
<b>Applicant:</b>	Mr Kevin Snape	
<b>Case Officer:</b>	Richard Limmer	
		<b>Recommendation: Approval with Conditions</b>
<b>Item:</b>	<b>2</b>	
<b>Application No:</b>	DM/0506/20/FUL	
<b>Application Type:</b>	Full Application	
<b>Application Site:</b>	Daisy Dene Deaton Lane New Waltham Grimsby	
<b>Proposal:</b>	Erection of new boundary fencing, 2.4m, 2.3 and 2.2m high (amended plans 17th August 2020)	
<b>Applicant:</b>	Mr And Mrs Gibbins	
<b>Case Officer:</b>	Richard Limmer	
		<b>Recommendation: Approval with Conditions</b>
<b>Item:</b>	<b>3</b>	
<b>Application No:</b>	DM/0265/20/REM	
<b>Application Type:</b>	Reserved Matters	
<b>Application Site:</b>	59 Cheapside Waltham Grimsby North East Lincolnshire	
<b>Proposal:</b>	Reserved matters application following DM/0148/17/OUT (Outline application to demolish existing commercial outbuildings and erect 3 dwellings with all matters reserved) to erect 3 dwellings with associated works - additional information on Drainage September 2020	
<b>Applicant:</b>	Mr Herby Glover	
<b>Case Officer:</b>	Richard Limmer	

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<b>Recommendation: Approval with Conditions</b>	
<b>Item:</b>	<b>4</b>
<b>Application No:</b>	DM/0756/20/FUL
<b>Application Type:</b>	Full Application
<b>Application Site:</b>	47 Lidgard Road Humberston Grimsby North East Lincolnshire
<b>Proposal:</b>	Erect single storey extensions to both sides and the front elevation with various alterations
<b>Applicant:</b>	Mr And Miss Dean And Michelle Scattergood And Nicholls
<b>Case Officer:</b>	Lauren Birkwood

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<b>Recommendation: Approval with Conditions</b>	
<b>Item:</b>	<b>5</b>
<b>Application No:</b>	DM/0461/20/FUL
<b>Application Type:</b>	Full Application
<b>Application Site:</b>	16 Radcliffe Road Healing Grimsby North East Lincolnshire
<b>Proposal:</b>	Alterations and first floor extensions to provide living accommodation at first floor (amended plans - height lowered & obscure glazed window)
<b>Applicant:</b>	Mr Brian Sellars
<b>Case Officer:</b>	Lauren Birkwood

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<b>Recommendation: Approval with Conditions</b>	
<b>Item:</b>	<b>6</b>
<b>Application No:</b>	DM/0360/20/FUL
<b>Application Type:</b>	Full Application
<b>Application Site:</b>	Garages Bradford Avenue Cleethorpes North East Lincolnshire
<b>Proposal:</b>	Demolish existing 24 garages and erect 4 dwellings with associated works
<b>Applicant:</b>	Mr And Mrs R Burnett
<b>Case Officer:</b>	Richard Limmer

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<b>Recommendation: Approval with Conditions</b>	
<b>Item:</b>	<b>7</b>
<b>Application No:</b>	DM/0308/20/FUL
<b>Application Type:</b>	Full Application
<b>Application Site:</b>	Tynedale Cheapside Waltham Grimsby
<b>Proposal:</b>	Variation of condition 2 (Approved Plans) following DM/0420/16/FUL (Demolish existing dwelling and erect 5 detached houses and one pair of semi-detached houses to include garaging, landscaping & access) to amend site layout, the design of plots 4, 5 and 6 including dormer windows and rooflights (amended roof designs on plots 4 and 6 - September 2020)
<b>Applicant:</b>	Mr Paul Glover
<b>Case Officer:</b>	Richard Limmer

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<b>Recommendation: Approval with Conditions</b>	
<b>Item:</b>	<b>8</b>
<b>Application No:</b>	DM/1145/19/FUL
<b>Application Type:</b>	Full Application
<b>Application Site:</b>	Land At Mauxhall Farm Immingham Road Stallingborough Grimsby
<b>Proposal:</b>	Construction and operation of an energy park comprising photovoltaic (PV) solar panels together with energy (battery) storage and associated infrastructure
<b>Applicant:</b>	Mr Ben Bateman
<b>Case Officer:</b>	Richard Limmer

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**PLANNING COMMITTEE - 4th November 2020**

**ITEM: 1**                      **RECOMMENDATION: Approved Conditions and signing of S106**

**APPLICATION No: DM/0056/20/FUL**

**APPLICATION TYPE: Full Application**

**APPLICATION SITE: Land At Bradley Road, Barnoldby Le Beck, North East Lincolnshire,**

**PROPOSAL: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout plans including zebra crossing, boundary treatments and plot repositions - Sept 2020)**

**APPLICANT:**

Mr Kevin Snape  
Snape Properties Ltd  
Thorn Lea  
Main Road  
Ashby Cum Fenby  
Grimsby  
DN37 0QW

**DEPOSITED: 21st January 2020**

**AGENT:**

Mr Richard Likupe  
Palmleaf Architects  
10 Tinley Close  
Cottingham  
Hull  
HU16 4EN

**ACCEPTED: 10th March 2020**

**TARGET DATE: 9th June 2020**

**PUBLICITY EXPIRY: 30th October 2020**

**AGREED EXTENSION OF TIME DATE:**

**CONSULTATION EXPIRY: 29th February 2020**

**CASE OFFICER: Richard Limmer**

**PROPOSAL**

The proposal is a full planning application for 82 dwellings with associated infrastructure including access from Bradley Road, internal access roads, garages, parking areas, bin collection areas, children's play equipment, public open space, drainage infrastructure, off site highway works including a zebra crossing across Bradley Road and extensive landscaping.

The site area equates to some 4HA, a substantial part of which is set aside for buffer landscaping, public open space and drainage infrastructure.



There would be 6 two bed properties, 46 three bed, and 30 four bed properties, of which 2 would be genuine bungalows and 4 of which would be semi detached bungalows with rooms in the roof space. 16 affordable units are proposed.

The application has been brought to Planning Committee due to objections from Waltham, Bradley and Barnoldby le Beck Parish Councils and the number of objections received from local residents.

## **SITE**

The site is located on the western side of Bradley Road, Barnoldby Le Beck on the edge of the village of Waltham. The site itself is located within the Parish of Barnoldby le Beck although geographically it forms part of Waltham village. The Parish boundary runs along Bradley Road.

The site is a relatively flat, open, agricultural field used for grazing and producing haylage. The boundaries of the site are somewhat undefined as the northern boundary is open with no particular feature on it. The eastern boundary is open to Bradley Road then there are the neighbouring properties on other side of Bradley Road that face the site. The western boundary has a small ditch running along it with open countryside beyond.

The southern boundary however is adjacent to a residential neighbour no.51 Bradley Road where it has a 1.8m high boundary fence along the boundary.

The application site sits around nos.57, 57A and 59 Bradley Road, site surrounds these properties on three sides with the forth side fronting on to Bradley Road. These properties have a mixture of boundary hedges of varying heights.

## **RELEVANT PLANNING HISTORY**

DM/0997/16/OUT - outline application for up to 66 dwellings with access to be considered  
- approved (s.106 for affordable housing, education and highway works)

## **RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS**

National Planning Policy Framework (February 2019)

NPPF5 - Delivering a sufficient supply of homes  
NPPF12 - Achieving well designed places  
NPPF14 - Climate, flooding & coastal change  
NPPF15 - Conserv. & enhance the natural environ.  
NPPF16 - Conserv. & enhance the historic environ.

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO3 - Settlement hierarchy  
PO5 - Development boundaries

PO6 - Infrastructure  
PO22 - Good design in new developments  
PO18 - Affordable housing  
PO39 - Conserve and enhance historic environ  
PO34 - Water management  
PO33 - Flood risk  
PO38 - Parking  
PO40 - Developing green infrastructure network  
PO41 - Biodiversity and Geodiversity  
PO42 - Landscape  
PO43 - Green space and recreation

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

## **REPRESENTATIONS RECEIVED**

Highways Officer- No objections to the proposed development, suggest conditions for details of construction for the access and other matters. Also require mitigation off site to be secured through a s.106 legal agreement including financial contribution towards a new cycle way.

Drainage Officer- No objections to the proposed development, comments on sustainable drainage and require a full surface water drainage scheme by condition.

Anglian Water - No objection, request conditions for surface and foul water drainage

Environment Agency - No objections to the proposed development

Heritage Officer - No objections, condition for archaeological evaluation

Affordable housing - No objection to the proposed provision of affordable housing.

Education Officer- Require contributions in accordance with Policy for both secondary and primary education secured through a s.106 legal agreement

Environmental Health - No objections, request conditions for; construction management plan, contamination, air quality improvement plan,

Trees and landscaping Officer- No objections to the proposed development with the inclusion of the landscape buffer. This should be planted prior to development commencing.

Public Rights of Way - no objections

Natural England - No comments

Ecology - No objections to the proposed development with the inclusion of the planting areas and management thereafter.

Bradley Parish Council - object:

1. The main objection is the extra traffic along Bradley Road and its implications. ie. There is already congestion at peak times at both ends of Bradley Road. There have also been at least 3 fatalities along this road in recent years. Although there is now 30mph and 40mph speed restrictions in place motorists frequently abuse these restrictions especially at busy times and if children choose to deviate from official crossing points, it will make them very vulnerable.
2. The increase in the number of school children this development would bring who would be attending the local schools would put massive pressure on school facilities.
3. There are already many staff from both the Bradley Nursing Home and the Woodlands Hospital who regularly walk along Bradley road to and from work and as they use the existing footpaths they have to actually cross the road several times.
4. The drainage for this proposed development will seriously impact on Bradley Road, the existing infra structure will be inadequate and this will all result in excess flooding along the road, particularly as there are already occasions when flooding occurs.
5. When the further development at Waltham Toll Bar is actioned this will inevitably bring even more traffic along Bradley Road, so more congestion will occur.
6. If the Western Relief Road is developed that too will bring even more congestion to Bradley Road, and these proposed developments are not too far into the future.
7. If 82 properties were to be erected that would be an increase of 20% + to Barnoldby-le-becks existing residency, and against the figures listed in the strategic housing land availability assessment 2015, under reference HOU292 which gave a potential capacity of 70 properties.

Waltham Parish Council - object:

The Parish Council note an increase in the number of dwellings on the plan from 66 to 82, and feel this as over-intensification of the development site. The Parish Council notes

that a Highways Report has still not been available to view on the Planning Portal. The Parish Council would like to see up to date drainage information, as the flood risk assessment was completed in 2016. It is noted that the plan does not include a pedestrian crossing. The Parish Council has concerns regarding the safety of pedestrians crossing Bradley Road, and asks if a Section 106 agreement could be used for this site-specific mitigation measure.

Barnoldby le Beck Parish Council - object:

- 1) The proposed development is an over-intensification of the site, particularly in terms of the increase in the populace, increasing the number of homes in the village by nearly 63%.
- 2) The local infrastructure is inadequate to provide for this increase. There are no services or facilities in the villages of Barnoldby le Beck or Bradley leaving the limited amenities in Waltham to try to accommodate increased need.
- 3) This development would have an impact on education provision. The local schools are already oversubscribed and whilst we acknowledge the provision for a contribution to education, this will not in itself mitigate the increased demand.
- 4) All of the above will inevitably lead to a significant increase in traffic on Bradley Road and into Waltham. Highway safety issues remain a major concern on roads which Humberside Police statistics show as having recorded accident history. It was noted that the Highways Authority have reviewed the application and have requested further information before being in a position to make comment.
- 5) The area of the development site already has surface and foul water drainage issues and the increased loading is a matter of concern. It was noted that the Flood Risk Assessment accompanying the application has not been updated since 2016 and still refers to 66 houses.

#### Neighbours Comments

The following properties have objected to the development;

3, 14, 17, 35, 45, 53, 51, 54, 59, 60, 50, 57A, 57, 66, 58, 44, 40, 74, 20, 27 and 39  
Bradley Road.  
6 Willow Park.  
5 Glen Eagles.  
97 George Street.  
10 Alderley Edge.  
Nos. 5 & 14 Archer Road.  
Nos. 2 & 6 Coltesfoot Drive.  
Nos. 3, 4, 5, 6 Marian Way.

59 Ashby Road.  
49 Westfield Road.  
64 Sheldon Road.  
Pear Tree House.  
Southlands.  
10 Birkdale.  
Nos.36 & 79 Woodhall Drive.  
12 Harvest Crescent.  
8 Cheesemans Close.  
3 Beck Farm Mews.  
66 Achille Road.  
22 Chiltern Drive

It is also noted that some of the above neighbours have made multiple comments about detailed aspects of the proposed development.

The neighbours above have objected to the proposed development with concerns over the following matters:

- Traffic generation;
- Highway safety;
- Highway amenity;
- Impact on the character of the area;
- Outlook;
- Loss of privacy;
- Need;
- Impact on village identity;
- Impact on education provision;
- Impact on village amenities;
- Ecology;
- Loss of views;
- Location of the development;
- Access;
- Details of documents provided.

Shepherds Purse, Bradley Road - supports the proposed development

## **APPRAISAL**

### Planning Considerations

1) Principle of Development.

2) Concept and Character.

- 3) Highways.
- 4) Impact on Neighbours.
- 5) Ecology and Amenity.
- 6) Drainage and Flood Risk.
- 7) Other Matters.

#### 1) Principle of Development

The proposed development is for 82 dwellings with associated infrastructure on land off Bradley Road. The site is located within the Parish boundary of Barnoldby le Beck however it is clearly geographically located adjacent to the village of Waltham.

The site is allocated in the North East Lincolnshire Local Plan 2013-2032 (NELLP) for housing. Site HOU 292. Furthermore, the site benefits from outline planning permission for 66 dwellings under DM/0997/16/OUT. The allocation on the NELLP under Policy 13 identifies the site to have the capacity of 66 dwellings, this is not a maximum number but an indicative figure. A scheme that proposes more than that figure is not contrary to the Policy but would need to justify that the proposal still accords with the other relevant Policies of the NELLP.

The principle of residential development on this site has been established and is in accordance with Policy 13 of the NELLP and section 5 of the NPPF.

As the site is allocated for residential development and benefits from an extant planning permission the principle of development on the site is very well established. Matters of principle such as sustainability or need cannot be robustly raised as concerns in this instance. However, other matters of the specific impacts of the proposed development need to be judged against the relevant Policies in the NELLP and are discussed in the report below.

#### 2) Concept and Character

Policies of the NELLP and section 12 of the NPPF establish that new development should be of good design, a key component of good design is understanding the character and context of the surrounding area.

The applicant has set out in the Design and Access Statement principles for the layout of the proposed development. It is proposed that the development will respond to the setting of the site, especially the urban edge and develop housing of mixed sizes and tenures.

An immediate feature of the proposed development that responds to its setting is the provision of a large area of landscaping along the western edge of the development. This is designed to create a buffer to the development and a soft urban edge. This approach has been tied into the site layout by minimising the number of properties backing onto the open countryside and maximising views out of the development. This mimics the open fronted nature of the development on the opposite side of Bradley Road that overlooks the development site. The extent of the built form of the proposed development also respects developments lines already created by the layout of properties along Bradley Road. It uses the northern edge of the Marian Way development and the rear boundaries of properties on Willow Park as limits with only landscaping extending beyond those lines.

The proposed built form of development itself seeks a mixture of single and two storey buildings, reflecting the existing built form in the area. Concerns have been raised by neighbours and the Parish Councils that the scale of the development is excessive and should be limited to single storey only. However, given the context of the area and the mixture of the built form readily visible from the site the proposed scale of single and two storey dwellings is considered acceptable and in accordance with Policies 5 and 22 of the NELLP.

It is also noted that concerns have been raised by neighbours over the loss of the field and impact on the wider character of the area. In the first instance this is a matter of principle, the site is allocated for residential development which has been established, secondly in terms of the impact on the wider character of the area this is considered to be acceptable given the form of the development proposed as described. It also seeks to provide a significant amount of landscape planting which will provide ecological benefits over the existing agricultural land. Policy 42 of the NELLP seeks to deliver wider landscape networks that improve the 'green' links within the Borough. Ensuring that more strategic elements of the landscaping are established in a timely manner is critical to this development. As such it is considered that the large areas of landscaping to the west of the site should be planted prior to any dwelling being constructed on the site. Having regard to the above it is considered that the layout responds to the sites location and setting and would result in a pleasing residential environment. The proposal therefore accords with Policies 5 and 22 of the NELLP and is considered to be acceptable.

### 3) Highways

It is noted that a key aspect of the concerns raised by the Parish Councils and the neighbouring properties is the traffic generation, the access into the site and the subsequent impact on highway safety and amenity. Policy 5 of the NELLP requires consideration of traffic generation, highway safety and amenity in all development proposals.

Furthermore, the NPPF requires that all development proposals that generate significant amounts of movement should be supported by a Transport Statement or Traffic Assessment and decisions on applications should take account of whether:-

- the opportunities for sustainable transport have been taken up, depending on the nature and location of the site,
- safe and suitable access to the site can be achieved for all people, and
- improvements can be undertaken within the transport network that cost effectively limits the significant impacts of the development.

The NPPF goes on to say that development should only be prevented or refused on transport grounds where the residual cumulative impacts of the development are "severe".

The planning application is accompanied by a detailed Transport Statement (TS) so that the traffic impacts can be fully examined. The Highways Officers have considered the content of the TS and are content that the proposed development would not have a severe impact on the highway network both in terms of highway amenity and highway safety. However, there are requirements for improvements to the highway network, these include:

**Speed Limit Reduction** - The development hereby permitted shall not be brought into use until a Traffic Regulation Order to extend the 30mph speed limit to the north of the site has been submitted to and approved by the Local Planning Authority. Subject to the successful implementation of the order, the 30 mph speed limit scheme will be relocated approximately 220 metres north of its current location on Bradley Road. The entire Traffic Regulation order process and associated highways works to relocate signage and change associated road markings will all be at the developers expense. This includes the costs associated with a TRO to move the existing 40mph back by approximately 220m to the north (including removing and replacing the hot rolled red chipping (which will also require planing out once removed)) and potential relocation of Vehicle Activated Signage if required.

**Dropped Kerbs and Tactile Paving** - The development will require new, or upgraded, dropped kerbs and tactile crossings to be installed at the developers expense. This shall include provision of 2 x pair of dropped kerbs and tactile paving on Bradley Road at appropriate locations to facilitate safe pedestrian crossings.

**Contribution towards Shared Footway/Cycleway on Barnoldby Road** - Contribution of £44,727 towards upgrading the existing footway on Barnoldby Road to shared footway/cycleway (total cost estimated at £200k)

**Provision of a zebra crossing across Bradley Road near to the site access.**

These works will improve both the highway safety and general highway amenities of the area as well as helping to improve the sustainability credentials. The scale of the proposed development would not result in a severe impact on any of the road junctions in the area and as such no improvement works are required to these junctions.



It is therefore considered that the proposed development would accord with Policies 5 and 38 of the NELLP.

#### 4. Impact on Neighbours

Policy 5 of the NELLP requires consideration to be given to the impact on neighbouring properties from development proposals. It is noted that there have been a large number of letters of objection received from neighbouring properties with a range of concerns. This includes the neighbours of particular importance numbers 51, 57, 57A and 59 Bradley Road. These neighbours are positioned directly adjacent to the proposed development.

In regard to the impact on no.51 Bradley Road, this is a semi-detached house with a long narrow rear garden. The proposed development would be all the way along its northern boundary. A new 1.8m high close board fence would be positioned along the development side of the boundary. The proposed development has considered the potential impact on this neighbour by positioning smaller properties close to the boundary. This includes plot 1 which is a genuine bungalow, plots 3 and 4 are a pair of semi-detached bungalows with rooms in the roof but roof openings are positioned on the front roof slope facing away from no.51's rear elevation. Plots 9 and 10 are a pair of semi-detached houses but separated from the rear elevation of no.51 by over 45m. Given the separation distance and the limited number of openings on the rear elevation of the proposed properties, the impact on no.51's amenities would not be significant.

Nos.57, 57A and 59 are a group of dwellings that the site wraps around 3 boundaries; north, south and west. There are a mixture of boundary hedges around the properties of varying heights. The proposed development includes sections of 1.8m close board fencing to the north and southern boundaries. The layout of the proposed development has been adapted to ensure that the relationship between the development and these neighbours is acceptable. To the north plots 21 and 25 are detached houses but would present a blank side elevation to these neighbours. To the south plots 1 and 2 and single storey bungalows. To the west adjacent to no.59 is an area of open space.

The proposed development would be visible to these neighbours and the views from various windows and garden space would change. However, the layout of the site has been designed to respect these neighbours so as to ensure that residential amenity is not adversely affected. The proposal therefore accords with Policy 5 of the NELLP.

The neighbouring properties on the east side of Bradley Road, opposite the application site, are sufficiently far enough away to not be unduly affected by the proposed development. Comments regarding views over the site and beyond are noted but there is not right to a view in planning terms and as such the development would not conflict with Policy 5 of the NELLP.

Concerns have also been raised, by neighbours, regarding the position of the affordable housing units. Policy 18 of the NELLP requires the proposed development to provide

20% affordable housing. The proposal, in this sense, is Policy compliant and the Housing Officer has confirmed this. It is the position of the proposed affordable units that raises concerns in terms of concentration of the affordable housing. However, the proposed affordable housing units would be of the same design and build quality as the market housing and would not be visually any different. Furthermore, the type and tenure of the units means that there is a mixture of social rent and shared ownerships and they are a dwellinghouse in land use planning terms. It is not for the planning process to dictate who should live in the dwellings. The properties will also be managed by a Registered Housing Provider in the normal way. It must also be noted that due to the layout and boundary with the open space these units do not overly concentrate onto neighbouring property and there is good spacing around the units.

Having regard to the above it is considered that the proposed site layout, including the layout of the affordable housing units, would not unduly affect the amenities of the neighbouring properties in accordance with Policy 5 of the NELLP.

## 5. Ecology and Amenity.

It is noted that concerns have been raised regarding ecology and in particular water voles. One neighbour comment in particular references evidence of Water Voles being present in the ditches within and adjacent to the site. Water Voles are protected species under the Wildlife and Countryside Act 1981. Policy 41 of the NELLP and section 15 of the NPPF require special regard to be had to protected species and wider bio-diversity.

The Council Ecologist has considered the Ecology Survey submitted with the application in detail and has conducted multiple site visits to assess the site for themselves. The habitat within the site for Water Voles has been reviewed, there is a drain to the north of the site and a small ditch to the west. The western ditch is not readily suitable to sustain Water Voles. The northern drain has limited potential for Water Voles and no evidence has been apparent on visits from the Ecologists for Water Voles to occupy the drain. However, as there is potential for Water Voles to move into the drain and ditch between this application being decided and development commencing a condition for a pre-development survey to be conducted and approved prior to development commencing is recommended.

Ecological reports with the application conclude that there are no other significant ecological constraints to the site's development. There is no evidence of other protected species, such as otters, bats or great crested newts. The proposed development presents an opportunity to improve the bio-diversity offer of the site utilising the landscape buffer zone and the landscaping within the main area of the site.

In terms of overall landscape and ecological value, the proposed development offers opportunities to enhance the area. Large areas of publicly accessible open spaces are proposed. Opportunities will exist to create accessible routes for pedestrians into the open spaces.

It will be necessary for the applicant to provide a management plan for responsibilities

and on-going maintenance of the open space. This can be adequately secured through a planning condition and planning obligation.

It is therefore considered that the proposed development would not have an undue impact on any protected species and presents an opportunity to provide biodiversity gain through the planting of trees and landscaping. This is in accordance with Policies 5, 41 and 42 of the NELLP and section 15 of the NPPF.

## 6. Drainage and Flood Risk Issues.

Policies 5 and 33 of the NELLP and section 14 of the NPPF require development proposals to consider flood risk on the proposed development and how the development would impact on flood risk elsewhere.

The application site is within an area zoned Flood Zone 1 on the Environment Agency's Flood Risk Maps. As such, the area is considered to be at the lowest risk of flooding from rivers or the sea. The topographical survey of the site shows that it is relatively flat with the ground level sitting around 18.7m AOD.

The application has been submitted with an updated flood risk assessment and drainage strategy. The Drainage Engineers, Anglian Water and the Environment Agency have been consulted on the proposed development and none have raised any concerns over the principles set out in the Drainage Strategy. The strategy establishes that the development can accommodate the necessary sustainable drainage methods to achieve greenfield runoff rates and water quality control.

The final details of the surface water drainage system are required to ensure that a truly sustainable scheme is achieved. This approach is supported by the Council Drainage Engineers, the Environment Agency and Anglian Water all of whom recommend that conditions are included for full details of surface water drainage.

It is therefore considered that the proposed development would not increase the risk of flooding elsewhere and would not be at an undue risk of flooding itself. The proposal therefore accords with Policies 5 and 33 of the NELLP and section 14 of the NPPF.

## 7. Other Matters

Policy 6 of the submission NELLP, seeks contributions for development proposals of 10 or more dwellings where there is insufficient school capacity to accommodate the anticipated number of children generated from a proposed development for both primary and secondary education. The applicant has committed to financial contributions in accordance with Policy which equates to circa £180,426 for primary education and £220,893 for secondary education. The impact on the education services within the area has been raised as a concern by neighbours and parish councils, however, this financial contribution ensures that impact is mitigated.

Affordable housing is to be provided as discussed above in accordance with Policy 18 of the NELLP.

The proposal includes large areas of public open space and children's play equipment. These elements are important to the acceptability of the development and need to be delivered in a timely manner. Furthermore, they need to be suitably managed throughout the lifetime of the development to ensure that perform the intended function. These matters can be secured through a condition.

## **CONCLUSION**

In considering the material planning considerations for determining the application it is necessary to consider the advice in Paragraph 14 of the NPPF. This sets out clear guidance for taking decisions on planning applications and stresses the need to approve development proposals that accord with development plans without delay. This is an allocated site in the North East Lincolnshire Local Plan 2018. In considering the planning balance in more detail it is necessary to consider the economic, social and environmental roles of achieving sustainable development.

First the economic role. It is self evident that the proposed development would create or retain employment in the building and allied trades. The proposal would assist in supporting the Council's aspirations for economic growth by providing housing provision. That too is of economic assistance. Local services would be likely to benefit economically. There are no identified economic drawbacks associated with the proposal and therefore the proposed development would be of economic benefit.

Secondly, the social dimension. The provision of much needed housing, and in particular affordable housing to meet the significant shortfall would provide much needed social benefits.

Environmentally, the development would have some impact as it would develop an area of agricultural land. Nevertheless, the land take would be in a location which has the capacity to accept the development. Opportunities have been taken to mitigate against this and to provide enhancements to the landscape and bio-diversity. The location of the development would offer opportunities to reduce private vehicle use by walking to local services by means of highway safety improvements for crossing Bradley Road, contributing to improving the cycle provision in the settlement and by using the nearby bus services.

Taken together these impacts indicate that the development would be sustainable in the terms set out in the NPPF.

The development would accord with the North East Lincolnshire Local Plan and in particular Policies 1, 2, 5, 6, 13, 17, 18, 22, 33, 34, 36, 38, 40, 41, 42 and 43. It is

therefore considered that the very limited impact of countryside setting does not significantly and demonstrably outweigh the significant benefits to be gained in providing 82 new houses, affordable homes as well as making a significant contribution to underpinning the Council's long term growth strategy.

The applicant has agreed in principle to make contributions towards education needs arising from the development, improvements to the highway network and affordable housing. The contributions will be secured through a formal planning obligation and appropriate conditions.

It is recommended that the application is approved, subject to conditions and that authority is delegated to the Strategic Director of Environment, Economy and Housing to conclude, in conjunction with the Head of Legal services, the necessary planning obligation.

## **RECOMMENDATION**

### **Approved Conditions and signing of S106 with the decision delegated to the Director of Economy and Growth - Place**

#### **(1) Condition**

The development hereby permitted shall begin within three years of the date of this permission.

#### **Reason**

To comply with S.91 of the Town and Country Planning Act 1990.

#### **(2) Condition**

The development shall be carried out in accordance with the following plans:

- 01-350-20 Rev A - Site location plan
- 02-350-20 Rev P - Proposed site layout
- 05-350-20 Rev B - Proposed plans and elevations Hornbeam
- 06-350-20 Rev C - Proposed plans and elevation Walnut
- 07-350-20 Rev B - Proposed plans and elevations Elm
- 08-350-20 Rev A - Proposed plans and elevations Aspen
- 09-350-20 Rev C - Proposed plans and elevations Maple
- 10-350-20 Rev E - Proposed plans and elevations Cedar
- 11-350-20 Rev E - Proposed plans and elevations Cedar handed
- 12-350-20 - Proposed plans and elevations Poppy
- 13-350-20 - Proposed plans and elevations Fuchsia

14-350-20 - Proposed plans and elevations Whitebeam  
15-350-20 - Proposed plans and elevations garages  
17-350-20 - Proposed plans and elevations Hornbeam  
18-350-20 - Proposed plans and elevations Elm  
20-350-20 - Proposed boundary treatments  
04 - Topographical survey  
E773-05A - Tracking layout  
E773-06A - Tracking layout  
E773-10B - Engineering layout  
LP-MA-01-070720 - Landscape Masterplan  
LP-P1-01-070720 - Landscape 1  
LP-P2-01-070720 - Landscape 2  
LP-P2-01-070720 - Landscape 3  
LP-P2-01-070720 - Landscape 4

Reason

For the avoidance of doubt and in the interests of proper planning.

(3) Condition

Development shall not begin until details of all external materials to be used in construction of the buildings have been submitted to and approved in writing by the Local Planning Authority. The development shall then be built out in accordance with the approved details.

Reason

To ensure the development has an acceptable external appearance and is in keeping with the visual amenity and character of the area in accordance with Policies 5 and 22 of the North East Lincolnshire Local Plan 2013-2032.

(4) Condition

Prior to works commencing on the approved development a construction management plan shall be submitted to and approved in writing the Local Planning Authority. The development shall then proceed in accordance with the approved details. The construction management plan shall include the following:

- Working hours;
- Dust reduction measures;
- Noise reduction measures;
- Contractor parking area;
- Visitor parking area;
- Delivery area;
- Hours for deliveries; and
- Wheel cleaning;

Reason

To protect the amenities of the neighbouring residents in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(5) Condition

The development shall be carried out in complete accordance with the Ecology Survey update by IEL Inspired Ecology dated 23rd October 2019 and the original Ecology Survey by Scarborough Nixon Associates Dated August 2016.

Reason

In the interests of ecological enhancement in accordance with Policy 5 and 41 of the North East Lincolnshire Local Plan 2013-2032.

(6) Condition

Prior to development commencing a detailed noise assessment shall be submitted to and approved in writing by the Local Planning Authority. The document shall include mitigation measures as necessary which shall be fully installed prior to the occupation of any dwelling on the site.

Reason

In the interests of amenity in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(7) Condition

Prior to commencement of development, a detailed scheme for Air Quality Improvement, including a schedule for implementation, shall be submitted to and approved by the Local Planning Authority. The development shall then proceed in accordance with the approved details.

Reason

In the interest of improving air quality in accordance with the North East Lincolnshire Local Plan 2013-2032 and the National Planning Policy Framework 2012.

(8) Condition

Prior to the commencement of development, details of a scheme for the provision of vehicle electric recharge points at a minimum of one per dwelling shall be submitted to and approved in writing by the Local Planning Authority. The approved electric recharge point(s) shall be provided prior to the occupation of the dwelling to which they relate and shall be retained thereafter.

Reason

In the interests of sustainability in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(9) Condition

If during development contamination not previously considered is identified, then the Local Planning Authority shall be notified immediately and no further work shall be carried out until a method statement detailing a scheme for dealing with the suspect contamination has been submitted to and agreed in writing with the Local Planning Authority. Remediation shall be undertaken in accordance with the details approved.

Reason

To ensure that any previously unconsidered contamination is dealt with appropriately in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(10) Condition

No development shall commence until a scheme for the sustainable provision of surface water drainage has been submitted to and approved in writing by the Local Planning Authority. The development shall then be built out in full accordance with the approved details.

Reason

To prevent an increased risk of flooding by ensuring the provision of a satisfactory means of surface water disposal in accordance with Policy 33 of the North East Lincolnshire Local Plan 2013-2032.

(11) Condition

No dwelling shall be occupied until the boundary treatments as detailed on plan ref: 20-350-20 have been fully installed for that particular plot.

Reason

In the interests of amenity in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(12) Condition

No dwelling shall be occupied until the bin collection area serving it has been fully installed as detailed on plan ref: 02-350-20 Rev P.

Reason

In the interests of amenity in accordance with Policy 5 of the North East Lincolnshire



Local Plan 2013-2032.

(13) Condition

Prior to any development commencing on the site details of all finished floor levels and finished levels within the gardens of each plot shall be submitted to and approved in writing by the Local Planning Authority. The development shall then be built out in accordance with the approved details.

Reason

In the interests of amenity in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(14) Condition

Development shall not begin until the following details have been approved by the Local Planning Authority.

(i) Detailed plans to a scale of at least 1/500 showing:-

(a) the proposed layout and widths of all carriageways, footways and shared surface areas on the Development;

(b) full construction details for all proposed carriageways, footways and shared surface areas;

(c) cross sections;

(d) the highway drainage system;

(e) the proposed locations of street lighting columns, all services and ducts for services, within the carriageways and footways;

(f) the number, location and layout of the vehicle garaging and/or parking facilities within the site to serve the proposed residential development;

(g) management arrangements for any carriageways, footways and/or landscaped areas not to be adopted by the local authority; and

(h) swept path analysis demonstrating turning manoeuvres for emergency vehicles on all carriageway (adopted and private), and refuse vehicles on all adopted carriageway.

Emergency vehicles and refuse vehicles need to demonstrate that they can pass a parked car to ensure that roads do not become impassable should on-street parking occur. Emergency vehicles will require appropriate turning facilities, regardless of status of the road (i.e. adopted or private).

(i) A Stage 1 and 2 Road Safety Audit (RSA) must be provided for the proposed access on Bradley Road. The RSA should take into consideration the main vehicular access point, the shared drive to properties 1 and 2, and the proposed dropped kerbs and tactile paving to facilitate pedestrian crossing movements. The Road Safety Audits must be undertaken by a fully qualified independent Road Safety Auditor.

Reason

To ensure that the proposed access roads are made up as soon as possible and in the

interests of public safety in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(15) Condition

A Residential Travel Plan (RTP) shall be produced and submitted to the Local Planning Authority prior to the occupation of any dwelling. The RTP should be produced in accordance with NELC Guidance and should include, but not be limited to the following:

1. Contact details of the person with responsibility for the implementation for the RTP;
2. Details of measures and initiatives to be in place to encourage travel by sustainable modes of travel, in particular walking, cycling, and public transport use;
3. 3 and 5 year targets associated with minimising lone car occupancy travel;
4. Details of how the RTP will be monitored (e.g. results of travel surveys within 3 months of first occupation and at key stages during occupancy;
5. The life of the RTP should be from first occupation to 5 years after full occupation of dwellings to ensure that the RTP has adequate time to become effective.

Reason

In the interests of sustainable development in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(16) Condition

Prior to the commencement development full construction details of the new crossing point on Bradley Road shall be submitted to and approved by the Local Planning Authority, to be informed by undertaking of an independent road safety audit. The crossing shall then be fully installed and made operational prior to any dwelling being occupied on the site.

Reason

In the interests of pedestrian safety in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(17) Condition

No dwelling shall be occupied until the access road/s serving it has been constructed to at least base course level and the street lighting, approved through condition 14 of this planning permission, has been fully installed and made operational. Within 12 months of any dwelling being first occupied on the site the access road/s serving it shall be fully constructed in accordance with the details approved through condition 14 of this planning permission.

Reason

To ensure access roads are made up as soon as possible and in the interests of public

safety in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(18) Condition

No construction works shall take place on the site until the 3 areas of woodland planting and new hedgerow along the western boundary of the site, as detailed on plan ref: LP-MA-01-070720, have been fully planted out in accordance with the planting schedule detailed on the same plan.

Reason

To protect the visual amenity of the area in accordance with Policies 5 and 42 of the North East Lincolnshire Local Plan 2013-2032.

(19) Condition

The scheme of landscaping and tree planting shown on plans ref: LP-MA-01-070720, LP-P1-01-070720, LP-P2-01-070720, LP-P3-01-070720 and LP-P4-01-070720 (save that required to be planted earlier under condition 18 of this planning permission) shall be completed within a period of 12 months, beginning with the date on which development began or within such longer period as may be first agreed in writing by the Local Planning Authority. All planting shall be adequately maintained for 5 years, beginning with the date of completion of the planting of the whole landscaping scheme and during that period all losses shall be replaced during the next planting season.

Reason

To ensure a satisfactory appearance and setting for the development and continued maintenance of the approved landscaping in the interests of local amenity in accordance with Policies 5 and 42 of the North East Lincolnshire Local Plan 2013-2032.

(20) Condition

Prior to commencement of development, full details of the childrens play equipment to be installed and when it will be installed, a play space/equipment and open space management plan including long term design objectives, timing of the works, management responsibilities and maintenance schedules for the play area/equipment and open space, shall be submitted to and approved in writing by the Local Planning Authority. The play equipment and public open space shall then be fully installed and subsequently managed and maintained in accordance with the details as approved through the lifetime of the development.

Reason

To ensure suitable play space and equipment is delivered in a timely manner in accordance with Policy 43 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(21) Condition

No development shall take place on any phase until the applicant has:

- (i) Submitted a Written Scheme of Investigation or Specification for Works, for a programme of archaeological work, to the Local Planning Authority.
- (ii) Received written approval of the Written Scheme of Investigation for a programme of archaeological work from the Local Planning Authority.
- (iii) Implemented or secured implementation of the Written Scheme of Investigation for a programme of archaeological work.

Occupation of the development shall not take place until the applicant has:

- (iv) Published, or secured the publishing of the findings resulting from the programme of archaeological work within a suitable media.
- (v) Deposited, or secured the deposition of the resulting archive from the programme of archaeological work with an appropriate organisation.

Reason

The site contains, or may contain, a Historic Environment Asset which requires recording prior to alteration or destruction according to the policies set out in the NPPF (National Planning Policy Framework).

(22) Condition

Prior to any works commencing on the development an up to date Water Vole Survey shall be submitted to and approved in writing by the Local Planning Authority. Should Water Voles be found to be present then a mitigation strategy shall be submitted to and approved in writing by the Local Planning Authority and the development shall then only proceed in strict accordance with the approved details.

Reason

In the interests of wildlife protection in accordance with Policy 41 of the North East Lincolnshire Local Plan 2013-2032.

(23) Condition

Prior to occupation of any dwelling, final details of how water will be reused and recycled on site shall be submitted to and agreed in writing by the Local Planning Authority. Once approved, the details shall be adhered to at all times following first occupation.

Reason

To ensure the efficient use of water and to accord with Policy 34 of the North East

## **Informatives**

### **1 Reason for Approval**

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would provide housing in a sustainable location and not harm the area character or residential amenity or compromise highway safety and amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policy 3, 5, 13, 22, 33, 34, 36, 38, 41 and 42.

### **2 Added Value Statement**

Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by providing pre-application advice on the proposed development and negotiating on issues through the planning process.

### **3 Informative**

As a Traffic Regulation Order is required to be implemented, in order to enable the development to take place, please contact the Traffic and Road Safety Team at least 6 months in advance of the commencement of works. (Tel: 01472 324528).

#### **Advance notice Section 38**

If the highways within the site are to be adopted by the Council, in accordance with Section 38 of the Highways Act 1980, please contact the Highway Management Team six months in advance of the commencement of works. (Tel: 01472 324505). The site will be required to gain Technical Approval for the Section 38 prior to discharging relevant Conditions.

#### **Advanced Notice works within Highway**

As works are required within the existing Highway, you are required to contact the Highways Management Team at least six months in advance of the commencement of works (Tel: 01472 324431).

#### **Pre Condition Inspection**

If the footway or carriageway is damaged as a consequence of any excavation or any other operations relating to the development, the Highway Authority may make good the damage and recover expenses reasonably incurred. You are required to contact the Highway Management Team at least 4 weeks prior to commencement of works to arrange for a highway pre-condition inspection (Tel: 01472 324431)

#### Advanced Notice Section 278

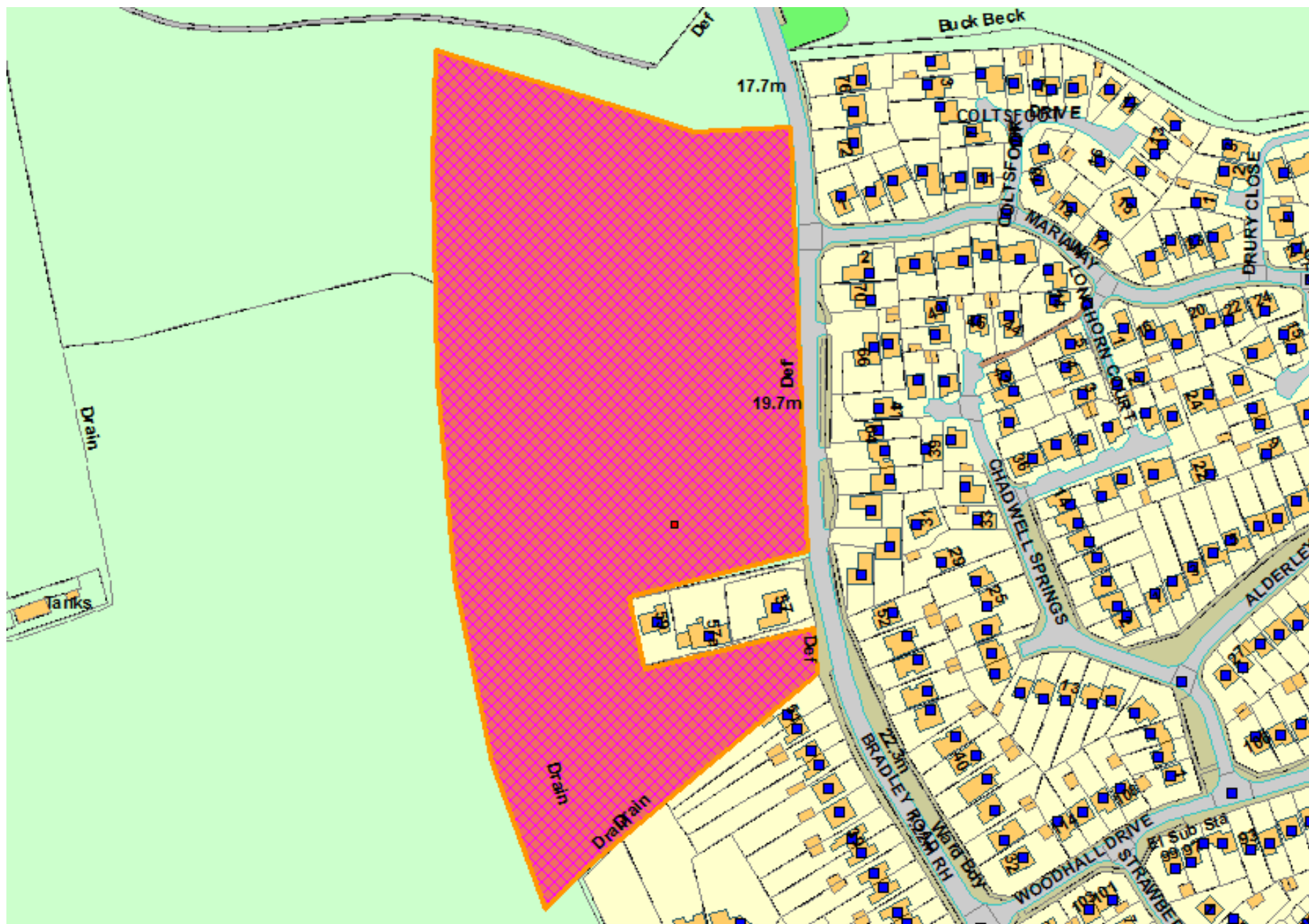
As works are required within the existing highway, in accordance with Section 278, Highways Act 1980, in order to enable the development to take place, please contact the Highway Management Team at least 6 months in advance of the commencement of works (Tel: 01472 324505).

#### 4 Informative

This application will require the creation of new postal addresses. You are advised to contact the Street Naming & Numbering Team on 01472 323579 or via email at [snn@nelincs.gov.uk](mailto:snn@nelincs.gov.uk) to discuss the creation of new addresses.

#### 5 Informative

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 325959).









# BARNOLDBY-LE-BECK PARISH COUNCIL

Mrs K Kirkham  
Clerk to the Council

Email: BarnoldbyPC@outlook.com

14 Househams Lane  
Legbourne  
Louth  
LN11 8LG

19th August 2020

NELC planning Department

Case Officer - Richard Limmer

Dear Sir/Madam,

**Planning Reference: DM/0056/20/FUL**

**Proposal:** Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020).

**Location:** Land at Bradley Road, Barnoldby Le Beck

I can confirm that the above amended plan was discussed by Barnoldby le Beck Parish Council at their virtual meeting held on 18th August 2020. Following a review of the plans and discussion, the Parish Council unanimously agreed that previous comments have not been addressed. While some adjustments have been made the Parish Council maintain their previous stance to oppose this application. They have no further comments to add to those previously sent on 26th February 2020.

Kindest Regards

Kim Kirkham  
Barnolby Le Beck Parish Clerk

## BARNOLDBY-LE-BECK PARISH COUNCIL

Mrs K Kirkham  
 Clerk to the Council  
 Telephone: 07926 885 184  
 Email: BarnoldbyPC@outlook.com

14 Househams Lane  
 Legbourne  
 Louth  
 LN11 8LG

25th February 2020

NELC planning Department  
 Case Officer - Richard Limmer

Dear Sir,

**Planning Reference: DM/0056/20/FUL**

**Proposal:** Erect 82 dwellings to include garages, access roads and landscaping.

**Location:** Land at Bradley Road, Barnoldby Le Beck

Barnoldby Le Beck Parish Council oppose this application on the following grounds:-

- 1) The proposed development is an over-intensification of the site, particularly in terms of the increase in the populace, increasing the number of homes in the village by nearly 63%.
- 2) The local infrastructure is inadequate to provide for this increase. There are no services or facilities in the villages of Barnoldby le Beck or Bradley leaving the limited amenities in Waltham to try to accommodate increased need.
- 3) This development would have an impact on education provision. The local schools are already oversubscribed and whilst we acknowledge the provision for a contribution to education, this will not in itself mitigate the increased demand.
- 4) All of the above will inevitably lead to a significant increase in traffic on Bradley Road and into Waltham. Highway safety issues remain a major concern on roads which Humberside Police statistics show as having recorded accident history. It was noted that the Highways Authority have reviewed the application and have requested further information before being in a position to make comment.
- 5) The area of the development site already has surface and foul water drainage issues and the increased loading is a matter of concern. It was noted that the Flood Risk Assessment accompanying the application has not been updated since 2016 and still refers to 66 houses.

Kindest Regards

Kim Kirkham  
 Barnolby Le Beck Parish Clerk

# BARNOLDBY-LE-BECK PARISH COUNCIL

Mrs K Kirkham  
Clerk to the Council  
Telephone: 07926 885 184  
Email: BarnoldbyPC@outlook.com

14 Househams Lane  
Legbourne  
Louth  
LN11 8LG

1st June 2020

NELC planning Department  
Case Officer - Richard Limmer

Dear Sir,

**Planning Reference: DM/0056/20/FUL**

**Proposal:** Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020).

**Location:** Land at Bradley Road, Barnoldby Le Beck

I can confirm that the above amended plan was discussed by Barnoldby le Beck Parish Council at their virtual meeting held on 28th May 2020. Following a review of the plans and discussion, the Parish Council unanimously agreed that nothing has changed and they maintain their previous stance to oppose this application. They have no further comments to add to those previously sent on 26th February 2020.

Kindest Regards

Kim Kirkham  
Barnolby Le Beck Parish Clerk

## Planning - IGE (ENGIE)

---

**From:** Bradley Parish Council  
**Sent:** 17 February 2020 16:02  
**To:** Planning - IGE (ENGIE)  
**Subject:** Ref: Planning Application Number DM/0056/20/FUL

Good Afternoon

With reference to the above planning application number Bradley Parish Council unanimously agreed that we strongly OBJECT to this application for the following reasons

**Location -** Land at Bradley Road Waltham, N.E.Lincolnshire.

1. The main objection is the extra traffic along Bradley Road and its implications. ie. There is already congestion at peak times at both ends of Bradley Road. There have also been at least 3 fatalities along this road in recent years. Although there is now 30mph and 40mph speed restrictions in place motorists frequently abuse these restrictions, especially at busy times and if children choose to deviate from official crossing points, it will make them very vulnerable.
2. The increase in the number of school children this development would bring who would be attending the local schools would put massive pressure on school facilities.
3. There are already many staff from both the Bradley Nursing Home and the Woodlands Hospital who regularly walk along Bradley road to and from work and as they use the existing footpaths they have to actually cross the road several times.
4. The drainage for this proposed development will seriously impact on Bradley Road, the existing infra structure will be inadequate and this will all result in excess flooding along the road, particularly as there are already occasions when flooding occurs.
5. When the further development at Waltham Toll Bar is actioned this will inevitably bring even more traffic along Bradley Road, so more congestion will occur.
6. If the Western Relief Road is developed that too will bring even more congestion to Bradley Road, and these proposed developments are not too far into the future.
7. If 82 properties were to be erected that would be an increase of 20% + to Barnoldby-le-becks existing residency, and against the figures listed in the strategic housing land availability assessment 2015, under reference HOU292 which gave a potential capacity of 70 properties.

Considering all of the above again Bradley Parish Council seriously OBJECTS to this application for full planning.

Regards

*Val Turner*

*Chair Bradley Parish Council*

## Angela Tynan (Engie)

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**From:** Waltham Parish Council <walthampc@btconnect.com>  
**Sent:** 30 July 2020 17:53  
**To:** Planning - IGE (ENGIE)  
**Subject:** Comment from Waltham Parish Council

Good afternoon,

Please may I submit the following comment from Waltham Parish Council

Planning Application Reference: DM/0056/20/FUL Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020) Location: Land at Bradley Road Barnoldby Le Beck North East Lincolnshire

<http://planninganddevelopment.nelincs.gov.uk/online-applications/PLAN/DM/0056/20/FUL>

**Waltham Parish Council recommends refusal of this application on the following grounds. The Parish Council note an increase in the number of dwellings on the plan from 66 to 82, and feel this as over-intensification of the development site. The Parish Council notes that a Highways Report has still not been available to view on the Planning Portal. The Parish Council would like to see up to date drainage information, as the flood risk assessment was completed in 2016. It is noted that the plan does not include a pedestrian crossing. The Parish Council has concerns regarding the safety of pedestrians crossing Bradley Road, and asks if a Section 106 agreement could be used for this site-specific mitigation measure.**

Kind Regards

Tanya

Tanya Kuzemczak  
 Clerk to the Parish Council

Tel: 07713 985277

Waltham Parish Council  
 Parish Office  
 Kirkgate Car Park  
 Kirkgate, Waltham  
 Grimsby  
 North East Lincolnshire,  
 DN37 0LS

[www.walthamparishcouncil.org.uk](http://www.walthamparishcouncil.org.uk)

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 Scanned by Anti Virus Software.

**Planning Application Reference: DM/0056/20/FUL**

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Location: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

**Waltham Parish Council recommends refusal of this application on the following grounds; The Parish Council notes that a Highways Report has still not been available to view on the Planning Portal. The amended plan does not include a pedestrian crossing. The Parish Council has concerns regarding the safety of pedestrians crossing Bradley Road. The Parish Council has concerns regarding the volume of vehicular traffic entering and exiting the development site via the one point of access onto Bradley Road and is concerned about how the volume and speed of traffic on Bradley Road will impact on traffic entering and exiting the site.**

Tanya Kuzemczak  
Clerk to the Parish Council

Tel: 07713 985277

Waltham Parish Council  
Parish Office  
Kirkgate Car Park  
Kirkgate, Waltham  
Grimsby  
North East Lincolnshire,  
DN37 0LS

[www.walthamparishcouncil.org.uk](http://www.walthamparishcouncil.org.uk)

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Lynne Kitching

Address: 3 Bradley Road WALTHAM

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:I did object last Month and received an auto acknowledgement dated the 5th March, my original e-mail was for the attention of Mr. R Limmer. I would repeat that I (we) feel that to put more houses on this stretch of road would make things more difficult for residents, the road is busy, too fast, and any disruptions in this area i.e road works, immediately forces the traffic to use Bradley Road, as a rat run.....we have lived here for 50 years, and its gone from a quiet Country Road, to a fast, heavily used road, and almost impossible to get out of own drive during 'rush hours' Traffic from Barnoldby le Beck, is fast, not adhering to speed limits I live on the same side of the road as the proposed development but in Waltham.(there are only 4 properties in Waltham on this side of the road, others in the parish of Barnoldby le Beck.) I do object to the application feeling its far too many properties for the site, we used to live opposite Green belt.....now hundreds of houses.



**Angela Tynan (Engie)**

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**From:** Chris  
**Sent:** 09 August 2020 14:48  
**To:** Planning - IGE (ENGIE)  
**Subject:** Planning Application Reference DM/0056/20/FUL

For the attention of Mr. Richard Limmer.

We wish to register our objection to the above Planning Application. As before, our reasons are:-

1. Health and Safety will be compromised by extra traffic using Bradley Road.
2. Probable over-crowding in schools.
3. We feel Waltham village rather than Barnoldby-le-Beck will suffer if this development goes ahead.

Chris Mackrill.  
Christine Todd.  
14 Bradley Road,  
Waltham.

Sent from [Mail](#) for Windows 10

**Planning - IGE (ENGIE)**

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**From:** Chris  
**Sent:** 23 October 2020 14:37  
**To:** Planning - IGE (ENGIE)  
**Subject:** Planning Application Reference DM/0056/20/FUL

For the attention of Mr. Richard Limmer

I wish to register my objection to the above Planning Application. As before, my reasons are:-

1. Health and Safety will be compromised by extra traffic using Bradley Road.
2. Probable over-crowding in schools.
3. I feel Waltham village rather than Barnoldby-le-Beck will suffer if this development goes ahead.

Chris Mackrill,  
14 Bradley Road,  
Waltham.

Sent from [Mail](#) for Windows 10

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road Barnoldby Le Beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: My last objection as I have been informed by 2 councillors that it will be passed no matter what .

North east lincs planning department have many many more suitable brown field sites that could be used for development but for some reason they seem to be overlooking the very important reasons why so many people from the public have objected to the Bradley Road , Barnoldby Le Beck proposed development.

Government guidelines do say that every development must be judged on its own merits, not automatically passed through closed door meetings.

When this is passed in the near future I do hope that all the public who raised concerns about this development will make a corporate complaint firstly then the ombudsman as is advised when the public are very concerned that planning has not been justly processed and too many irregularities have occurred. Thank you to all of the public who have raised grave concerns over this new development. And remember it is Barnoldby Le Beck and not Waltham as most of the surveys suggest.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Andy and Tina Bowles

Address: 35 Bradley Road Barnolby le beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: We strongly object to the building of 82 properties on Bradley road (previously 66 properties) the amenities can't support such an increase in population on top of what is already being built on Grimsby road to scatho. It is already a struggle to park at the local shops and there are no doctors or dentists in the village this will be made worse with an increase in local population. Bradley road is very busy as it is and there will be an accident/death on this road if the traffic levels are to increase due to this application.

Please think about this as you are ruining our village.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Linda Paterson

Address: 45 Bradley Road Barnoldby-le-Beck

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: My husband and I strongly object to this development firstly because of the increase in traffic it will bring to an already extremely busy road, secondly the disturbance to the wildlife and thirdly the amount of noise pollution.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Stewart Hamilton

Address: 53 Barnoldby Road Waltham Grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I also have major concerns with flooding, as Buck Beck runs in front and along the side of my house. It has many times burst its banks when we have had various downpours. I also have a main sewage drain running through the front of my garden and the man hole cover blows under pressure in the event of bad weather - causing us to stop using our household utilities as the water backs up. On many occasions, I have had raw sewage running into the beck and all over our front garden. , I also have major concerns with flooding, as Buck Beck runs in front and along the side of my house. It has many times burst its banks when we have had various downpours. I also have a main sewage drain running through the front of my garden and the man hole cover blows under pressure in the event of bad weather - causing us to stop using our household utilities as the water backs up. On many occasions, I have had raw sewage running into the beck and all over our front garden.

Waltham Parish Council is rightly concerned about drainage issues, as am I, I see Buck Beck rising to its Peak Flow very quickly and frequently. Its drainage basin has had numerous new homes built in the last few years with more in the future as the "Design, Access and Planning" document states in its justification for intensification.

All of these new homes and developments calculate Qbar and use the results to achieve an acceptable solution for a SuDs design; but these calculations achieve, at best, an approximation of how the system will behave in reality. Buck Beck is reaching Peak Flow in 1:20 and 1:30 year events. The flow is being sustained for longer, bringing a heightened chance of flooding during periods of prolonged rain to homes further away from the development. That kind of rainfall event is now frequent; charging the beck almost to capacity. A 1:100 year event would almost certainly lead to flooding of homes in Waltham. Each new development adds to the volume of water.

if Waltham is to absorb yet another large development, with all the problems it brings the village, then we need to be certain that an intensive development like this has not merely gone through the tick boxes of SuDs, but has based the design firmly on understanding all aspects of surface water flow on the site so that others away from the site are not affected by unanticipated extra water flows during periods of heavy rainfall. Using a fluorescent tracing dye to establish the direction of flow in the ditches during wet periods would resolve uncertainties as to whether the ditches eventually feed water into Buck Beck.

## Carol Pedersen (Engie)

---

**From:** Richard Limmer (Engie)  
**Sent:** 08 September 2020 09:25  
**To:** Planning - IGE (ENGIE)  
**Subject:** FW: DM/0056/20/FUL Bradley road

Morning could you add to the file

**Richard Limmer MSc URP**  
 Major Projects Planner  
 Planning and Development Team  
 Places & Communities North – NEL  
 Tel. +44 (0) 147 232 4299  
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Working in Partnership

[engie.co.uk](http://engie.co.uk)

New Oxford House, George Street  
 Grimsby, North East Lincolnshire, DN31 1HB

---

**From:** craig mason <  
**Sent:** 08 September 2020 09:22  
**To:** Richard Limmer (Engie) <Richard.Limmer@nelincs.gov.uk>  
**Subject:** DM/0056/20/FUL Bradley road

Good morning I've noticed quite a few things have been added to the comments after the cut off point for residence to place objections to the site development including vehicle turning images this included lorry's and dustbin lorry's but not farm machinery such as combine harvester and tractors obviously I assume this should be taken into consideration with there being two access points into the adjacent field thanks for your time

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# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Craig Mason

Address: 51 Bradley Road Grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Having reviewed the proposed site plans, the property using access from Bradley road Barnoldby le Beck between 51 and 57 clearly shows the drive way of said property outside the boundary of the proposed site, this was confirmed last week as Mr Dixon had a survey carried out to define the boundaries of his land and which are now marked with wooden posts, and the surveyor confirmed this

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Miss Faye Craven

Address: 51 Bradley road Barnoldby Le beck

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I strongly object to the application for the following reasons

### Road safety

Several documented accidents and fatalities have happened on this road over the years with the most recent being only a few months ago with a car on its side after crashing through some shrubs in the middle of the day with very little traffic on the road.

In a recent road survey 700 vehicles use the road on a daily basis of these 10% were above the speed limit with some being recorded at 65 miles an hour entering the village that has a 30 mile an hour limit

### Excess of building

There seems to be a lot of building or buildings already completed in the area . The houses recently completed on Barnoldby Road , The bungalow is being built on Grimsby Road , The 400 planned homes and little coats / Cambridge Road and the potential expansion of Scarfo top onto Bradley Road . This will have a major impact on the already struggling infrastructure and services in the area . As mentioned by the developers in the amended statement according to the I H T guidelines it is 1.8 km to the local junior school which is already oversubscribed , 3km to towbar senior school and 4km to the nearest doctors which are not taking on new patients . None of the above fall into the acceptable 800m distance supplied by the I H T. There is no cycle lane until you go through a very busy over congested village .

### Playground

In the amended plans there is a proposed playground next to farm access through a housing estate with heavy machinery driving through there is also a pond and a deep Dyke on the boundary of this .

### Flood assessment

An up-to-date flood risk assessment has not been produced , it was taken from 2016 and a previous planning application for a third less proposed properties .

#### Whitebeam dwelling

In the proposed plans for the dwelling white bean are a two story property , this will be overlooking existing properties that had a 6 m ridge height placed upon them . There is no ridge height shown in any of the plans for this dwelling will this be higher than the 6m height.

#### Landscape management plan

In the amended landscape management plan dated July 17 it shows no trees along the Boundry of 51 Bradley Road yet on the amended plans August 6 it shows some and if so who will be responsible for the maintenance .

The developers state they have been in contact with the residents in the statement after a 10 minute meeting with the developer trying to establish how the Boundry was going to be secured and who was maintaining it as there will be several properties and an access road adjacent to 51 Bradley Road which has never had a hedge or a fence or shrub defining it yet all documentation states that it will be hedged all the way around yet a picture has never been produced showing how open this property is. The area around the Dyke has been maintained by the residents of 51 Bradley Road for over 45 years when this was brought to the attention of the developers the only response we received was a solicitors letter .

No clear boundary markers have been shown on any of the plans , I wonder how they can state " The well lit area " Will help in the reduction of crime with no offences shown as mentioned in the mission statement .

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mr Craig Mason

Address: 51 Bradley Road Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I strongly object to the proposed development on several grounds

1. having moved to the village five years ago with my young family for Air quality and less congestion Only to find a development being planned previous development scrapped with 66 properties new development with 82 property's sadistic show this will add over 1500 car movements per day to an already busy and dangerous road
2. having a young child in the school which is over 1 mile away and having to fight for her placement as the school is already over prescribed ,And with this not the only development plan for said area
3. My property which runs alongside the proposed new development floods and is on usable for three months of the year due to standing water yet the proposed development is on lower sitting on the land than my own and all flood risk strategies appear to be out of date and Surely due to the environmental issues the world now sees it self in they should be carried out accurately
4. With my property running adjacent to the new development this will give my four new neighbours and there are no clear and defined walls/fences or tree placements in a recent meeting with Mr J Snape he was unable to clarify what would be erected and who would be Responsible for any new trees and planting and the upkeep of them
5. As the wildlife lover I have read all of the reports which cannot give any accurate facts to the wildlife on said development due to the timing of the reports being carried out
6. I would like to ask for an extension due to the fact Waltham Parish Council could not hold planned meeting due to logistics issues

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Miss Faye Craven

Address: 51 Bradley Road Barnoldby le beck

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I strongly object to the above planning application for the following reasons:-

Bradley Road is a dangerous one due to the speed of drivers and several major accidents have occurred on it even though a speed limit has been imposed. The potential extra traffic from this proposed development will Cause for example is 3+ bedrooms, at least two car movements a day, Seven days a week equalling 1848 movements a day.

Barnaby Le Beck Village which is the address of the proposed site has no amenities available, The nearest ones are In the next village which is where parking is at a premium for the local shops.

The local primary school is already oversubscribed and the local doctors surgeries are not taking on new patients.

With regards to the drainage issues it has not been taken into account all the extra condensate that will be produced from the new proposed guidelines for air and ground source heating systems as they both need extra soak aways.

There will be lots of extra pollution from the proposed development especially light and noise.

It would also appear that the ridge height which was enforced on the other surrounding buildings has not been kept the same.

From a personal point I would like the following points to also be taken into consideration:-

The possible extra surface water that could flow into my garden causing flooding.

No boundary fencing or walls have been shown on the plans along the edges of the proposed properties.

The extra light and noise pollution from the proposed dwellings will produce and the potential loss of light I could lose due to the roof height of certain proposed dwellings.

The potential loss of wildlife in the local area for example water voles, bats, kestrels etc.

I would also like to request an extension on the time for objections to be entered in as I do not feel all of the local residents or Waltham parish have had enough time to digest the proposed information as it has had an increase of houses compared to the previous application.

I would like to ask that planning do take into consideration the feelings of the local residents when making a decision.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Colin Playle

Address: 54 Bradley Road Waltham Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Whilst I appreciate that the expiry date has passed for neighbours objections, I thought it well worth raising the subject of a recent article in the Grimsby Telegraph. A recently completed estate by the applicant, Snape Builders, appears to have included roadside swales which are normally part of the drainage plan. House buyers have tended and cultivated their new plots, only to now find out they are all losing 2 metres at the roadside to a pedestrian footway, which had previously been turfed over by Snapes. Can we be sure that this will not happen again on this application, resulting in the loss of roadside drainage swales, which are intended to reduce the increased flood risk, from run off water on the proposed development.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Colin Playle

Address: 54 Bradley Road Waltham

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Whilst I appreciate that the Planning Committee have to deal with each application on its own circumstances, surely the recent submission for another 239 houses at Toll Bar has to be a consideration on this application, due to the combined effect of allowing any or all of the applied for houses, on the already overstretched infrastructure and facilities in the area.



# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Colin Playle

Address: 54 Bradley Road Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: In my last objection submission, please insert the words "manoeuvring or" before "reversing" in the first paragraph.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Colin Playle

Address: 54 Bradley Road Waltham Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I have just seen the very last minute submissions of the tracking layouts for vehicles entering and leaving the proposed development. The very idea of a large vehicle reversing across Bradley Road and entering the new estate is so ridiculous it beggars belief. Vehicles leaving the village, at least 10% of which, 700 per day! are documented to be exceeding the 30mph limit, up to and over 65mph, that is some accident waiting to happen if this access is approved. Clearly the consultation period has to be extended so full consideration and comments can be made regarding this inadequate proposal. Refuse vehicles, delivery vehicles and farm vehicles are all intended to use this access so it cannot be argued that the manoeuvre will be infrequent, let alone all of the construction traffic if the development is approved.

I also notice that the NELC Heritage Office have raised concerns about the proximity of this proposal, to possible prehistoric ditches and pits. Obviously potential artifacts need to be protected so a full Heritage assessment, as requested by the Heritage Office, meeting the requirements of paragraph 189 of the NPPF, must be undertaken and submitted before a decision can be considered. Indeed the applicant was informed by submissions on this portal dated 17th February and 20th March, that such an assessment was required under NPPF, which has yet to appear, yet another reason to extend the consultation deadline.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Colin Playle

Address: 54 Bradley Road Waltham Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Having expressed my objections on previous submissions, I have now studied the additional documents attached to this application, and cannot see that much has changed, but the applicant has simply made an attempt to "dress up" his original proposals. I will concede that he has amended the proposed building between the last two existing properties to a bungalow from multi storey link houses, clearly, Mr. Snape must have been in agreement that the proposed windows were going to look straight into my bedrooms.

Traffic;

I still have grave road safety concerns about the extreme increase in vehicles that will have to enter and exit Bradley Road from a development of this size. Ironically the only submission on this portal in support of the proposal, from Mr. Shepherd, has recently had part of his hedge demolished, I am told by an out of control vehicle! We constantly see cars racing in and out of the village, a recent NEL traffic survey figures show the high volume of vehicles already using Bradley Road, and at least 10% of those vehicles, 700 per day! were travelling above the 30mph limit, up to a maximum measured of 65mph.

Flood Risk;

If we already have an area of the village that floods, Mount Pleasant, surely, no matter how fast or slowly any extra water enters that watercourse, it can only add to the problems suffered by residents in the village. The applicant suggests that slowing down the rate at which any water enters the watercourse will negate the extra quantity?

I also still have concerns over the use of existing foul water drainage systems, when the drainage authorities have previously admitted they have documented evidence of raw sewage overflowing, from that system, into an open watercourse that runs past the children's play area on Mount Pleasant.

Infrastructure;

Waltham village centre is already at capacity regarding traffic and parking facilities. No matter how good the cycle or foot way network is, people will naturally drive into the shops.

The Village schools are also full to capacity with no room for expansion, so whilst lower cost starter homes might encourage young families, they will have to transport children to school out of the area in vehicles.

We no longer have a major fire appliance in the village so expanding Barnoldby by more than 50% growth will put added strain onto mainline fire stations in town.

There are no doctors or medical facilities in the village, so again it necessitates the use of vehicles.

#### Design & Access Statement;

There is mention of "continuing the street scene", some time ago the planning officer, Mr. Limmer had grave concerns when I applied to remove a 2 metre stretch of low conifer hedge, and the impact that would have on the rural aspect and street scene, now he is being asked to allow a major alteration to that same stretch, presumably his recommendations to the committee will express those same concerns.

In section 9.0 the statement suggests that the new estate will improve the character of the area, I and other residents find that most offensive as we take great pride in maintaining our homes and the roadside verge and hedge, (Council owned), to maintain the pleasant rural entrance to our village.

It also states that it is presented using NPPF 2012 guidance, two of those guidance notes are to protect green belt land, and meet the challenge of climate change and flooding, both of which are threatened in this application!

Section 15.9 states that availability of building land is a problem, yet previously the document states that planning precedent has been set by the approval of 6 other sites, clearly land is not such an issue.

#### Conclusion;

In the documents conclusion it states "that Approval without delay" should be forthcoming, surely that is a decision for the Planning Committee to make after considering all information available to them, not one the applicant should be suggesting to them, I feel that this is either very presumptuous, or the applicant knows something that may not be in the public domain?

Referring to the other documents recently lodged on the planning portal, there are Landscape plans, and also a landscape management plan. Subsequent to this an amended site plan has been lodged, and whilst I am no architect, the only obvious difference is the removal of some tree plantings, which are actually included in the landscape documents. Surely if the committee are to make the correct decision, be it approval or declined, they must base it on accurate and up to date documents, not ones that include some information which is then changed. I would ask the question, "what else might change before construction might be allowed to start?"

There is also a "farm access road" exiting the estate on the Western boundary. Hopefully, they are not intending to move large farm vehicles and combines through the proposed estate? I would have expected access to that field to be from Barnoldby Road, not through an estate where they

are hoping young families might live, I question the need for such an access.

The applicant refers to the draft Local Plan 2016, HOU292, which suggest a maximum potential capacity for this site of 66 houses, surely that must be considered when a plan is submitted for 82 properties, regardless of their "mix," otherwise what is the point in having a local plan?

My final point is the comment from Highways, that they are still awaiting further information before making their final comments, does this concern the access onto Bradley Road?

I trust that the Planning Committee will look at the weight of opposition, and consider all concerns and comments from the people that live in, and know the area, when coming to a final decision on this application.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Colin Playle

Address: 54 Bradley Road Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Due to Covid restrictions, it has now been several weeks since there has been any activity on this application.

There are several points of objection that I wish to reiterate.

Clearly the traffic safety is still a concern. On 24th February the Highways department felt unable to comment on the application as they required further information from the applicant, I can find no such submission on the portal, so presumably Highways still need to comment. Clearly when commenting on an application, they must assume that all current traffic adheres to traffic regulations. As a recent NELC survey shows, I feel that it has great relevance to planning application DM/0056/20/FUL, which is proposing that the traffic from a further 82 homes enters onto the section of road that was surveyed in September 2019. As per my concerns about the highways safety risk, this confirms the high volume of vehicles already using Bradley Road, and at least 10% of those vehicles, 700 per day! were travelling above the 30mph limit, up to a maximum measured of 65mph. I would appeal to your conscience, with proof from the survey, can you honestly consider it safe to allow a new T junction to be constructed on a stretch of road, with figures shown below, without a fear of a serious rtc and subsequent consequences.

Drainage is also still a concern. The developer has tried to negate these concerns with a scheme that allegedly only allows water to flow into the Beck, at a rate no greater than greenfield run off. Surely if there is evidence of flooding from this existing watercourse, any extra water feeding into it is only going to increase the flood risk, no matter how fast it flows into it.

Comments made by Mr Marc Dias of Humberside Police, say that "the designing out crime section of the DAS is short and vague". Going on to say that the applicant has not supplied enough detail to determine the final design standards, again I can see no further submissions relating to this. He suggests that for such a large development the applicant should be designing to the "Secured by

Design" guidance, and that they should apply for the Secured by Design award to show that the proposal meets with this guidance. Without this award, does Mr Dias possibly fear for the safety and security of any potential purchaser of these homes? I would ask the committee to consider, if they ask for comments from public bodies, can they ignore suggestions that are then submitted. Finally, I am currently trying, with some difficulty, to find the date that this application will be put before the Planning Committee, so that I can determine how any objectors can address that committee, particularly if it is held "virtually". It is on the important dates section that determination date is 9th June 2020, presumably due to the strange Covid times we are currently living in, this date has been extended to allow the committee to give it their full consideration.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Colin Playle

Address: 54 Bradley Road Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Having studied the amended plans, I still feel that most of the comments made in my earlier objection to the original plans associated with this application are still valid.

In addition, I am struggling to understand how the Environment Agency, and Anglian Water can now make little or no comment on this application, when, as my earlier comments show, they have evidence of the said sewage system overflowing and raw sewage having been found in Teamgate Drain! Clearly a health and environment hazard. Those concerns were expressed when the proposal was for 66 houses, not the inflated 82. How can their views suddenly have changed?



# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mr Colin Playle

Address: 54 Bradley Road Waltham Grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Please find below the response from NELC to a FoI request which I have recently made to the Council.

I feel that it has great relevance to planning application DM/0056/20/FUL, which is proposing that the traffic from a further 82 homes enters onto the section of road that was surveyed in September 2019. As per my concerns about the highways safety risk, this confirms the high volume of vehicles already using Bradley Road, and at least 10% of those vehicles, 700 per day! were travelling above the 30mph limit, up to a maximum measured of 65mph.

I would appeal to your conscience, with proof from the survey, can you honestly consider it safe to allow a new T junction to be constructed on a stretch of road, with figures shown below, without a fear of a serious rtc and subsequent consequences.

Request: I would be interested to know the average number of vehicles in a set time period, and also the speed of those vehicles, particularly how many exceeded the 30mph limit and also the maximum speed recorded./

Response: Bradley Road, Waltham speed survey undertaken on 8th - 15th Sept 2019 shows an average of 7030 vehicles use this road per day (two way). Over the specified 7 day period, 10% of the vehicles were travelling at or above the tolerated speed limit of 35mph. The maximum speed recorded was 65mph.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout plans including zebra crossing, boundary treatments and plot repositions - Sept 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Colin Playle

Address: 54 Bradley Road Waltham Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Having studied the, yet again, amended plan, I have two further comments to add to my earlier submissions, all of which are still applicable.

Firstly, I fail to see the need for "Bin Areas" as shown on the plans. All of these proposed homes have clear access and space around them, so why is there a need for rubbish to be gathered in one point, surplus rubbish will accumulate and either become infested with vermin, or blow around in the wind causing an added litter problem. Why can the proposed purchasers not do as we all do on Bradley Road and keep our bins on our own property, simply putting them out on the night prior to collection. Mr Snape actually claimed in my home, that he always leaves a site looking better than when he arrives, apart from the beautiful sunset that was on display when he left, and he could not respond to, a bin gathering point on the main entrance to his proposed development certainly would not enhance the appearance of the street scene, something which Mr Limmer was adamant to preserve when discussing a small change I wished to make to my property some years ago, presumably these concerns must still apply.

I also notice that there are now marked "swales" on the plans for drainage, are these going to be paved over in the future as Mr Snape's previous development purchasers have recently suffered, clearly this would affect the drainage plan if it were to become apparent.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mr Colin Playle

Address: 54 Bradley Road Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I would like to continue my objection to the above proposal by quoting a phrase from the North East Lincolnshire Council document, The Statement of Community Involvement. In this document the phrase;

"Community involvement is an important part of the process of preparing and review the Local Plan and other planning policy documents. So in addition to the specific organisations we would like you, our communities to get involved. This is because you are the people, businesses and organisations who live, work, play and use the amenities in the area on a day to day basis. By getting involved in the preparation of our planning policy documents you can influence decisions that ultimately affect the way our Borough will look and develop in the future"

If this is a genuine desire of NELC, I would implore on the Planning Committee to actually listen to residents in the immediate area of this proposal. The exact people referred to above who do live, work, play and use the local amenities, and know the area far better than anyone else. They know of the traffic problems, they know of the lack of school places, they know of the lack of medical facilities, they know of the proliferation of wildlife currently on the proposed site, they know of the road traffic accidents that occur but never become statistic, ( can you find any official record of two car RTA, in the precise locate of the intended new access road, that occurred on Monday of this week)

The only way to improve and encourage community involvement is to listen when they speak, ignore them and they will not bother again, clearly the opposite of what the statement is trying to encourage.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mr Colin Playle

Address: 54 Bradley Road Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I am writing to object to the application DM/0056/20/FUL. This application is even more intensive than previous application DM/0997/16/OUT, which was for 66 properties. That application attracted intense opposition, and it only received approval, on the Planning Committee Chairman's casting vote. This clearly shows that 50% of that committee had concerns about the proposals at the time. Apart from the internal layout of the properties, and an increase of nearly 25% in the number of properties, this new submission attracts all of the problems expressed previously when almost 100 objections were submitted. I am aware that most of these objectors have been watching for any developments on that application, my concern is that they may miss the new application as it is under a new number.

This application will increase the size of Barnoldby Le Beck by 63%, surely that kind of growth is unsuitable for a village that was recently listed as having only 130 homes. The actual site is identified as possible development land in the Strategic Housing Land Availability Assessment 2015, under Ref HOU292. That report gave it a potential capacity of 70 properties, 85% of the 82 that have been applied for.

Apart from road safety issues on Bradley Road, inadequate local infrastructure, and a village school that is already refusing admission to village children as it is full to capacity, there appears to be an apparent disregard for a maximum 6 metre ridge height, previously applied to application 09/94/0407, and also to 57 Bradley Road. In fact, the local Council took enforcement action against a previous resident of number 57, forcing him to reduce the height of an outbuilding to below 6 metres. That property will now be in the middle of the new development, and two storey houses. This shows great inconsistencies in planning considerations, and appears to be somewhat unfair to those who have previously had that condition placed on them.

I have also contacted both The Environment Agency and AWA, as neither have expressed any drainage concerns, when responding to the application. I do have an e-mail, which I received from The Environment Agency when the previous application for 66 houses was submitted to NELC. At

that time, they expressed concern for the possibility of the local foul drainage system being able to cope with the extra waste water, in particular they refer to their own records of reported pollution incidents, which do include sewage related problems in the area. These problems resulted in sewage overflow into Teamgate drain, which flows into Waltham, past children's play areas, where I have seen youngsters actually paddling in the water during hot weather. I have sent them recent images of said drain, and severely flooded playing field, during the recent spell of heavy rain!!

I stressed to them both, that it now gives me greater concern that they have responded to application DM/0056/20/FUL, saying that they have no comment to make, yet this application is for 82 homes, not the 66 about which they had previously expressed concern. Anglian Water have responded to the application, also showing no concern for the new proposal, to connect into manhole 8902 on Marian Way, which feeds into the existing, previously overflowing, system.

I have requested that both parties take a more in depth look at the implications of allowing the foul water drainage from a further 82 homes, to enter the existing sewage system.

The applicant has had some consultation with the planning department, and local residents, and has tried to address some concerns, but the underlying objection, along with those outlined above, is the unsuitability, and over intensification, of that area of rural farmland, which is visible from the Wolds area of outstanding natural beauty.

I would also refer back to my own planning application, DC/249/13/WAB, where I applied to remove 6 metres of conifer hedge and create a new access, for one property, onto Bradley Road. Mr Limmer called a site meeting with highways as he had safety concerns, fortunately highways disagreed, once they checked visibility was adequate. He was also adamant about limiting the effect that my proposal would have on the existing street scene, placing conditions on hedge height etc, to which I have fully complied. I sincerely hope he shows the same concerns, about an access for 82 houses, and the effect they might have on the street scene, when making his recommendations to the Planning Committee. I feel this proposal has far too many implications, to be passed, on delegated powers.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road Barnoldby Le Beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Firstly , I am concerned that the landscape management plans for the proposed site which was supplied by Engie for Snape property developers has again got the incorrect address location.

It says on their official paperwork ,land off Bradley Road Waltham.

Land off Bradley Road Waltham is a completely different site . The complete site is in and part of Barnoldby le Beck , my council tax paperwork tells me this fact and has done for the past 30 years

.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road BARNOLDBY le Beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I wish to object and bring attention to the main application form submitted by the new developers. On one page of the official forms it states that the new development is not within 20 meters of a watercourse. Is it ok to put incorrect information on a official form ?

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road Barnoldby-le-Beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Dear planning department,

I strongly agree with all of the other residents who have voiced grave concerns over the already dangerous road onto which the new development will be placed ,the total lack of school places , the total lack of dental appointment places , the total lack of doctor appointments in the village. Extra parking spaces in the villages of Barnoldby-le-Beck and Waltham.

I do believe that if all of the damaging evidence against the site of this new development was scrutinised by a independent party then it would not be allowed to go ahead.

Unfortunately in the very beginning when councillor H Hudson said

( we have wanted and needed more housing for a long time , it will be passed in the end so let's not waste time and just get it passed)

I have tried to get the exact complete minutes from this planning meeting but I have been passed from pillar to pillar.

The new plans do not have a 5 meter easement either side of the ditches for the protection of possible endangered species . I have photos of water vole , I have photos and video of the ditch sides after it was completely destroyed after telling the land owner and developers last year . I do not know who destroyed the possible habitat on this ditch . Natural England told me that if I presented evidence to the developers then after investigation they would by law ensure that no harm or destruction of habitat would take place . The said land was on the government's SHLAA list and the government guidelines say that just because it is on the list it does not automatically mean it will be passed . Every site must be looked at on its own merits and then a decision made , bud as myself and everyone who attended the first planning meeting concerning this development heard a councillor say ( it will be passed in the end ! )

Why would he say this . I do hope that the councillors who must decline or pass this development please look closely at all of the evidence and if any of them would like my photos ( and



confirmation from Lincolnshire wildlife ) please get in touch .

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road BARNOLDBY le Beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I would like people who this new development will greatly affect please think about what is happening, the land has been sold to the developers already , (millions of pounds ) . Does this mean that the decision has already been made by the planning department?

By law the land owners and developers can have behind closed door private meetings with the planning department which are confidential. So are we wasting our time as members of the public ?

Wildlife habitat has already been destroyed ( damaged ) on or near the site . Oops .

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I would like to object to the new plans on a point that has been overlooked. The tree buffer zone which is outside the designated SHLAA boundary for this site was only put in the plans after I made the planning department aware that there is a low droning noise coming from the pumping station very close to the new proposed development. I was told personally by a member of the planning department that the tree buffer zone would hopefully deaden the droning noise which they would not investigate, nor would the waterboard who run the pumping station. But apparently the tree buffer zone is nothing to do with this issue?

Other neighbours have also contacted the planning department but nobody wants to know .

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road BARNOLDBY le beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Dear planning department I would like to object to these new plans on all of the same points made against this new development. Also the new plans do not show a 5 meter easement either side of the watercourse to allow the protection of protected species that live there , ie , water voles . Over the past few years I have written many times to the council planning department, the council legal department, to the land owner and the proposed property developers informing them that I have proof of water voles in the vicinity of the land . Not once have any of them replied to me . Lincolnshire wildlife confirmed that the photos I took on my land were water vole . Lincolnshire wildlife did say that by law a 5 meter easement either side of the watercourse must be provided to protect these endangered species.

On the proposal forms from the developers to the planning department it states there is no watercourse within 20 meters of the land ! Really . I think this may be incorrect.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout plans including zebra crossing, boundary treatments and plot repositions - Sept 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road Barnoldby le Beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I would like to object strongly as the original planning application was for 66 dwellings at Bradley Road Waltham !! Yes the plans were passed for Bradley Road Waltham not Barnoldby le Beck .

The postcode on the original plans was DN37OUZ . Now this new application is for Bradley Road Barnoldby le Beck and postcode DN370YW . This should not be allowed. How can outline plans be passed for Bradley Road Waltham DN370UZ then alter the plans for more dwellings to Bradley Road Barnoldby le Beck DN370YW ?

Can anyone please check to see if this process is normal. If no councillors are worried about how this has happened then can they please justify to the public that this is normal . If I put in plans for my garden then decided to build somewhere else after outline planning was granted I do believe the planning department would absolutely not allow it ? Hopefully a third party is taking notes on what is happening here .

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I would like to object to this new set of plans for Bradley Road Barnoldby Le Beck. Firstly the time for anyone to make a comment for or against is only a few weeks from start to finish. The last plans for the same piece of land even though the postcode and village address were incorrect had a public consultation for approximately 8 Months ! Yes 8 Month's. I do strongly believe that this very short public consultation period is absolutely inadequate for all the public who will be directly affected to make their objections known and I am requesting that it be extended.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:I would like to object on the basis of another misleading document by employees of north east lincs ( Engie ) , the transport department. On the first page of this survey it says that with the extra 16 dwellings there will only be another 12 vehicle movements in the morning and 12 vehicle movements in the afternoon.?

Please tell me that the transport department have looked at the evidence that there are no more spaces in any of the local schools in Waltham, ( remember this development is in Barnoldby le Beck );(and Barnoldby le Beck village does not have a school , or doctor's or dentists) . So when this development is built any households with children cannot walk to school, they will have to drive . It is also too far and dangerous to cycle..

Not one survey made for this development and conducted by employees of north east lincs ( Engie,a French profit making organisation) has made any effort to closely look at the facts that this development for such a small historic village is totally wrong .

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

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Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road Barnoldby Le Beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: My last objection as I have been informed by 2 councillors that it will be passed no matter what .

North east lincs planning department have many many more suitable brown field sites that could be used for development but for some reason they seem to be overlooking the very important reasons why so many people from the public have objected to the Bradley Road , Barnoldby Le Beck proposed development.

Government guidelines do say that every development must be judged on its own merits, not automatically passed through closed door meetings.

When this is passed in the near future I do hope that all the public who raised concerns about this development will make a corporate complaint firstly then the ombudsman as is advised when the public are very concerned that planning has not been justly processed and too many irregularities have occurred. Thank you to all of the public who have raised grave concerns over this new development. And remember it is Barnoldby Le Beck and not Waltham as most of the surveys suggest.



# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

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Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road Barnoldby le Beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Has anyone noticed that on the 18th of August the ecology report stated that there were many issues that needed addressing. And now on the 9th of September another ecology report from the same person and department are saying there are no issues to be resolved. ? Can anyone please explain how this can be when the submitted plans have not changed?

Also on the 18th of August the ecology officer advised that a pre-construction survey by a suitably qualified ecologist is undertaken to confirm the species remains absent, i.e. water voles .

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

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Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road Barnoldby le Beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I would like to object because on the official application that Mr Kevin Snape has put into north east lincs planning department ( now Engie ) on number 11 , it asks

Assessment of flood risk , Is the proposed site within 20 meters of a watercourse ? The applicant has ticked the box NO . If anyone is even bothered to look or check ,yes it is . There have been to many incorrect entries regarding this application from day 1 . Most of the paperwork and surveys commissioned by the developers have all had the address as Waltham not Barnoldby le Beck .

Please do not let this go unnoticed again and again I

# Comments for Planning Application DM/0056/20/FUL

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Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road Barnoldby le Beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I would like to bring peoples attention to the Architect plans submitted by Palmleaf .

Again more miss information on important documents that the council seem to accept.

On note 3.0 on the map it shows number 6 is the existing development of Waltham? No it is still Barnoldby le Beck .

And on pictures at no 16 . The second one says views looking west from the site . Incorrect. These are important documents as they have the chance to completely change the village of Barnoldby le Beck and the residents life near this development.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

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Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road Barnoldby le beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I would like to ask why again another consulting firm paid for by the developers, ( Snape developers) has put the address down incorrectly. Have they been asked to ? Or have they not investigated correctly that the piece of land which they have done a survey on is not actually in Waltham. It is still in Barnoldby le beck .

Is this still because Waltham is a large village and Barnoldby le Beck is a very small village and building this development in Barnoldby le beck would virtually double the size of our historical village?

The very first planning application that went in had the incorrect postcode and address. The local planners did not seem to be bothered about this . Over the past nearly 2 years many many important studies and reports have been incorrectly ladled as Waltham instead of Barnoldby le beck , can anyone please explain.

Normally the planning department insists that all paperwork is absolutely correct but in this case it's ok .

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road Barnoldby le Beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I would like to ask why again another consulting firm paid for by the developers, ( Snape developers) has put the address down incorrectly. Have they been asked to ? Or have they not investigated correctly that the piece of land which they have done a survey on is not actually in Waltham. It is still in Barnoldby le beck .

Is this still because Waltham is a large village and Barnoldby le Beck is a very small village and building this development in Barnoldby le beck would virtually double the size of our historical village?

The very first planning application that went in had the incorrect postcode and address. The local planners did not seem to be bothered about this . Over the past nearly 2 years many many important studies and reports have been incorrectly ladled as Waltham instead of Barnoldby le beck , can anyone please explain.

Normally the planning department insists that all paperwork is absolutely correct but in this case it's ok .

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road Barnoldby Le Beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: On the most current site plan the developers have decided to site the waste bin areas for the social housing right next our hedge and garden , we do think that this is unacceptable and we strongly object as it will our quality of life .

This new development will virtually double the residents of Barnoldby le beck . Not Waltham as a lot of the planning paperwork states wrongly . The actual address, postcode and location have all been constantly put as Waltham , which is incorrect. The council seemed not to concerned about this .

We feel the affect of this development would be detrimental on the character of the neighbourhood and should be refused.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

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Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road Barnoldby Le Beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: We strongly object to the developers wanting to put social (affordable housing) next to and surrounding existing properties which are of much greater value. It will have a tremendous adverse effect on the present residents. Not least the loss of privacy, being overlooked, the noise and disturbance.

The development would adversely affect highway safety. This is a very busy stretch of Bradley Road and a possible 100 cars or more entering and leaving could become a danger to the public and should be considered.

The nearest medical centre available is on Cambridge Road Grimsby, and 400 houses have been passed to be built on the corner of Cambridge Road. Do you think there will be sufficient spaces for them to accommodate another 82 families at the medical centre?

Dentists also.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

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Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road Barnoldby-le-Beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Waltham council and residents of Marion way have given information that their sewers have been a problem with overflowing in the past . Now this new development of 82 dwellings have permission to connect into Marion ways sewage. Bright idea .



# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road Barnoldby le Beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:I would like to strongly object to this planning application as it will double the amount of dwellings in the historical village of Barnoldby le beck . It will totally change the appearance and quality of the area . It will change the quality of life in my home .it will devalue my property with the social housing placed next to our bungalow.There are not enough places in any of the local schools,

Too many previous valid objections have been ignored.

Many of the previous surveys stated that the land was in Waltham. The original postcode was incorrect and the planning department did not question this .

Evidence of water vole on the land was ignored by the planning department and the new land owners .Please do not destroy our beautiful village.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout plans including zebra crossing, boundary treatments and plot repositions - Sept 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Wishart

Address: 59 Bradley Road Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I would like to object as I have just seen the latest amendment to the site plan and all of the 16 social, affordable housing have been placed in one large Cluster right next to the existing residential properties. Government guidelines say the social, affordable housing should be spread amongst the whole development ( pepper-potting ) and not all together, This is totally unacceptable as our council tax band was increased from a band C to a D one month before the original plans went in and now we are told that we are to be surrounded by social, affordable housing.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Joan SARGENT

Address: 60 Bradley Road Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Whilst we very much appreciate the addition of trees to the front of the development to mask the houses which will eventually be built across the road from us, my husband and I continue to object to the new development, on the following grounds -

1. Increased volume of traffic / road safety

a) An extra 82 houses will mean at least 82 additional cars using the road on a daily basis, but most likely even more than that with many households now having at least two cars.

b) Bradley Road is notorious for accidents at the bends. Increased levels of road usage can only increase the potential for more accidents in the future.

c) Traffic is already heavy at peak times. Now that vehicles are no longer allowed to park on the pavements along Bradley Road, it's often very difficult to get two cars passing each other where the other vehicles are parked. We envisage even more problems after the development has been built - unless double yellow lines are used on the roadside alongside the development

d) Although there is a speed limit of 30mph within the village limits, we regularly see speeding traffic now, and have witnessed some close calls as cars even overtake close to Marian Way.

e) There is a blind corner just a little way along the road from our drive. At times, due to the lack of visibility, if cars are speeding, it is already quite dangerous attempting to get out of our drive, especially on the occasions when we need to take the caravan out. The planned access to the development is almost opposite our drive, and we are really concerned about the added danger that might pose.

f) the extra vehicles using the village shops will also need somewhere to park. Already there are not enough parking spaces within the village, and with more hosing in the village people wanting to shop locally will be forced to park along High Street, Fairway or Cheapside, causing additional hazards to other road users.

## 2. Amenities

There are currently other large scale developments planned for Waltham. Surely the number of new homes will lead to the local school being over-subscribed. The Leas is not a huge school, by any means, with a lack of land for extension. Where will all the children who will be living in the developments go to school if they cannot be accepted into the Leas? More traffic in the village as they are bussed or driven into Grimsby?

## 3. Wildlife

The survey of wildlife does not appear to have been taken throughout the year. We regularly see large flocks of curlew on the grassland, as well as sparrowhawks, occasional deer, and herons, and even a flock of waxwings in the fields designated for development. If the land is developed where will this leave these, and no doubt numerous other creat

## 4. Level of nuisance and disturbance

On a personal level, being retired and at home most of the day, we are concerned about an unacceptable level of nuisance and disturbance due to vehicular access, both during the building work and afterwards, with the main entrance to the development being almost directly across the road from the entrance to our drive.

## 5. Greenfield site

This is a designated green field site, which we know does not mean what it used to do, but surely we should protect such sites and only develop them as a last resort in order to maintain a balance between nature and building in this country. If houses are urgently required, why are we not developing more of the brownfield sites within the town's boundaries first.

## 6. Finally,

I know one cannot object to a planning proposal on grounds of either property being subsequently devalued or on the loss of an open view. However, the only reason we bought our bungalow was for the open aspect across the fields from our living room and kitchen windows. (When we moved in it was summer time, and we hadn't realised then about the low winter light levels). Even the planning document points out the bonus of the open views across the fields for those houses planned at the back of the site - the exact view which many of the houses along Bradley Road, including ours, will lose, if the proposal goes ahead!

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Joan SARGENT

Address: 60 Bradley Road Waltham

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: My husband and I objected to the original , and although we appreciate the fact that Mr Snape and the architect took the time to visit us to show us their model and explain the changes in the new development, we still object to the new proposal on the following grounds -

1. Increased volume of traffic / road safety

a) An extra 82 houses will mean at least 82 additional cars using the road on a daily basis, but most likely even more than that with many households now having at least two cars.

b) Bradley Road is notorious for accidents at the bends. Increased levels of road usage can only increase the potential for more accidents in the future.

c) Traffic is already heavy at peak times. Now that vehicles are no longer allowed to park on the pavements along Bradley Road, it's now often very difficult to get two cars passing each other where the other vehicles are parked. We envisage even more problems after the development has been built - unless double yellow lines are used on the roadside alongside the development

d) Although there is a speed limit of 30mph within the village limits, we regularly see speeding traffic now, and have witnessed some close calls as cars even overtake close to Marian Way.

e) There is a blind corner just a little way along the road from our drive. At times, due to the lack of visibility, if cars are speeding, it is already quite dangerous attempting to get out of our drive, especially on the occasions when we need to take the caravan out. The planned access to the development is almost opposite our drive, and we are really concerned about the added danger that might pose.

f) the extra vehicles using the village shops will also need somewhere to park. Already there are not enough parking spaces within the village, and with more hosing in the village people wanting to shop locally will be forced to park along High Street, Fairway or Cheapside, causing additional hazards to other road users.

## 2. Amenities

There are currently other large scale developments planned for Waltham. Surely the number of new homes will lead to the local school being over-subscribed. The Leas is not a huge school, by any means, with a lack of land for extension. Where will all the children who will be living in the developments go to school if they cannot be accepted into the Leas? More traffic in the village as they are bussed or driven into Grimsby?

## 3. Drainage

The proposals state that drainage across the land will be adequate once developed. Will this really be the case with the increasing amount of rainfall being experienced in recent years. More building on green fields can only limit the amount of drainage capacity for the increased rainfall. It's only a few years since many properties in Barnoldby Road were flooded due to excessive rainwater that could not be channelled away.

## 4. Wildlife

The survey of wildlife does not appear to have been taken throughout the year. We regularly see large flocks of curlew on the grassland, as well as sparrowhawks, occasional deer, and herons, and even a flock of waxwings in the fields designated for development. If the land is developed where will this leave these, and no doubt numerous other creatures?

## 5. Light reduction

Our bungalow suffers in the winter from very low light levels (an extension in the large house next door, which was already built when we moved in twenty one years ago, means we get no sunlight at all in the front throughout the whole of winter). We have had to build a small extension at the back to ensure we have at least one room where we can sit in daylight without switching on the lights. Whilst we appreciate the way the architects have tried to screen the development from the road, our concern is what impact the development of houses opposite.

## 6. Level of nuisance and disturbance

On a personal level, being retired and at home most of the day, we are concerned about an unacceptable level of nuisance and disturbance due to vehicular access, both during the building work and afterwards, with the main entrance to the development being almost directly across the road from the entrance to our drive.

## 7. Greenfield site

This is a designated green field site, which we know does not mean what it used to do, but surely we should protect such sites and only develop them as a last resort in order to maintain a balance

between nature and building in this country. If houses are urgently required, why are we not developing more of the brownfield sites within the town's boundaries first.

My husband and I objected to the original , and although we appreciate the fact that Mr Snape and the architect took the time to visit us to show us their model and explain the changes in the new development, we still object to the new proposal on the following grounds -

#### 1. Increased volume of traffic / road safety

a) An extra 82 houses will mean at least 82 additional cars using the road on a daily basis, but most likely even more than that with many households now having at least two cars.

b) Bradley Road is notorious for accidents at the bends. Increased levels of road usage can only increase the potential for more accidents in the future.

c) Traffic is already heavy at peak times. Now that vehicles are no longer allowed to park on the pavements along Bradley Road, it's now often very difficult to get two cars passing each other where the other vehicles are parked. We envisage even more problems after the development has been built - unless double yellow lines are used on the roadside alongside the development

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#### 7. Greenfield site

This is a designated green field site, which we know does not mean what it used to do, but surely we should protect such sites and only develop them as a last resort in order to maintain a balance between nature and building in this country. If houses are urgently required, why are we not developing more of the brownfield sites within the town's boundaries first.

#### 8. Finally,

I know one cannot object to a planning proposal on grounds of either property being subsequently devalued or on the loss of an open view. However, the only reason we bought our bungalow was for the open aspect across the fields from our living room and kitchen windows. (When we moved in it was summer time, and we hadn't realised then about the low winter light levels). Even the planning document points out the bonus of the open views across the fields for those houses planned at the back of the site - the exact view which many of the houses along Bradley Road, including ours, will lose, if the proposal goes ahead!



# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Tammy Kitchen

Address: 50 Bradley road Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I vehemently object to the building of these houses. The village simply cannot cope with the number of properties being developed. I understand that a new nursery has opened to accommodate the ever growing population of Waltham, so what of the already over subscribed primary and secondary schools? Where do the children go next?

As for the location, I thought someone was joking. Bradley Road is another death waiting to happen. Add to that new junctions and how many more cars on the road, it is a recipe for disaster. There are in my opinion no safe places to add junctions or a roundabout. Speeding has always been a problem on this road, and adding to the amount of traffic seems non-sensical.

The local amenities don't have enough parking for the current numbers in the village, so another car park would be needed to keep residents safe, and where would that go? On the village green?

I understand that the addresses will be Barnoldby-Le-Beck, but as they have no school, shops, library or anything other than a pub, everyone will be using Waltham.

Or am I understanding it wrong and Barnoldby will be furnished with a shiny new school, shops and a back road to access them???

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr David Hickinson

Address: 57a Bradley Road Great Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Just to confirm the meaningful comments of the vast majority of the 150 or so in full accord that the biosphere and sustainability of the area is not capable of providing the basic core requirements of a development of this size, such as the repeated and documented historic problems with drainage and flooding, schools already at full capacity, No doctors provision, the village centre frequently congested and at a standstill as well as the shortage of parking spaces, and the historic problems with speeding vehicles and accidents on Bradley Road.

Of the 120+ neighbours comments it's only Mr Shepherd the fraternizing conservative councillor, who approves the plan and doesn't think the road is dangerous. Is that really what he was thinking when I passed him only a week or so ago studying the damage to his fence by a presumed speeding motorist??????.

A smorgasbord of Compelling opposition that requires the elected officers of the council's full consideration.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mr david hickinson

Address: 57a Bradley Road Barnoldby Le Beck

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:I agree With Mr Wishart, the period for commenting is short compared to previous and other applications. could we have a 4 week extension please

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mr David Hickinson

Address: 57a Bradley Road Barnoldby Le Beck

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:

Firstly let me thank the applicant Snape properties and their architect for offering and providing a personal consultation to discuss my concerns and for going the extra mile in listening and addressing some of them. Truly appreciated.

### BRADLEY ROAD

Since this land was included in the "local plan" Bradley Road has been categorised by Humberside Police as one of the top ten most dangerous roads to drive on in the area.

In recent years multiple fatalities and far too frequent collisions have become all too familiar to existing residents. The Marion Way junction opposite the entrance to this proposed development seems to have become the epicentre for car on car collisions. In allowing this development the hundreds of daily additional journeys to and from the site per day, most of which will be at rush hour times with people having to travel to work. Coupled with other documented new developments in adjoining villages there will be more than 6000 additional vehicle journeys per day, vying to find the quickest route into town/work. With Bradley road being one of a few options available. I would suggest and Indeed think it's clear to see this latest proposed development is potentially the straw that broke the Camel's back where the conflict between over development and road safety is concerned.

I also have several other points that I would like to be considered;

### BARNOLDBY LE BECK not Waltham

Before this application can proceed I would ask the Councillors to ponder the question of how this can be and if necessary instigate an investigation to establish the source and reason for this land

to be incorrectly defined as Waltham When it is clearly within the boundaries of Barnoldby Le Beck.

The land in question is legally, Wholly, widely and entirely documented as being in Barnoldby Le Beck.

Geography is defined by history, recorded boundaries, parishes, ownership and physical Landmarks. None of which relating to this proposal are in Waltham

Furthermore even the documents attached, associated with this application all state as follows:

application for planning permission states the location as "Bradley Rd, Barnoldby Le Beck.

Proposed site plans states the location as "Bradley Rd, Barnoldby Le Beck.

Whitebeam plans and elevations states the location as "Bradley Rd, Barnoldby Le Beck.

Walnut plans and elevations states the location as "Bradley Rd, Barnoldby Le Beck.

Poppy plans and elevations states the location as "Bradley Rd, Barnoldby Le Beck.

Maple plans and elevations states the location as "Bradley Rd, Barnoldby Le Beck.

Fuchia plans and elevations states the location as "Bradley Rd, Barnoldby Le Beck.

Elm plans and elevations states the location as "Bradley Rd, Barnoldby Le Beck.

Cedar mirror plans and elevations states the location as "Bradley Rd, Barnoldby Le Beck.

Cedar plans and elevations states the location as "Bradley Rd, Barnoldby Le Beck.

Aspen plans and elevations states the location as "Bradley Rd, Barnoldby Le Beck.

Single and double garages plans and elevations states the location as "Bradley Rd, Barnoldby Le Beck.

So for Mr Limmer to repeatedly claim under Application Number: DM/0997/16/OUT

it is "geographically" in Waltham sets alarm bells ringing and makes me ponder as to why?.

The clear, obvious and only assumption to me is that to build this number of houses in Waltham would lessen the population impact by percentage, compared to almost Doubling the population of Barnoldby Le Beck, therefore making it clearly more difficult for it to be even considered let alone approved.

## AMENITITES

The site is too far from local shops for most people to walk.

There is no additional provision for schooling as Waltham school is bursting at the seams and already oversubscribed by Waltham residents. In addition as the development is in Barnoldby Le Beck they would not automatically qualify for places.

Currently you are geographically allocated a doctor. If you move into Barnolby Le Beck Your own doctor may remove from their list due to geographical boundaries. There is no confirmed health provision for the area.

No public transport comes down Bradley Road

Currently Waltham high street (the main road of Waltham village and arterial road for barnoldby le beck) is often at a standstill due to the narrow road and cars having to give way to a mixture of commercial vehicles and buses. This cannot be made wider or changed in anyway due to existing listed buildings, how then can this be classed as supportive infrastructure?

Already there is a lack of parking available at the shops as the residents have to park outside their homes.

Specific to 57a Bradley Road

We recently built our home under the main planning constraint that we could not exceed 4mtr in height. I presume this will automatically be a mandatory stipulation for this application.

WORTH NOTING

NORTH EAST LINCOLNSHIRE STRATEGIC HOUSING LAND AVAILABILITY ASSESMENT  
2016

FOR THE PERIOD 31st MARCH 2016 TO 31st MARCH 2032

Site Ref: HOU 292

This document was produced by NELC when considering allocating this site for development and Shows their concerns with the location and includes the following paragraphs.

"Public transport accessibility from the site is low with the nearest services provided along Barnoldby Road to the south. the site is not within an easy walking distance of the Waltham local centre".

"A watercourse forms the western boundary of the site, and Buck Beck runs to the North. Land adjacent to Buck Beck is identified as having a high risk of flooding from surface water. Buck Beck is an identified local wildlife site and it would need to be demonstrated that the development would not have an adverse impact on its ecological value"

For the sake of repetition, I share Mr Playle's and Mr Wishart's concerns regarding flooding and drainage. And their personal experience and knowledge with the constant background noise from the water treatment works they covered in the first application for this site (Application Number: DM/0997/16/OUT)

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mr Martin Evardson

Address: 57 Bradley road Barnoldby le Beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:Mr. Limmer

We agree with our Neighbor's comments of 59 and 57A Bradley Road that the removal of 16 Full and the new 56 Full that we have not had enough time nor the local residents or local Parish councils of Barnoldby le beck, Waltham, Bradley to digest the new proposals ,plans we ask for the same amount of time given to No 16 Full of 8 months to 56 Full

Please by return answer our requests.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mr Martin Evardson

Address: 57 Bradley road Barnoldby le Beck Grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:DM/0056/20/FUL (Pending Consideration)Objection to build from 57 Bradley Road Sharon and Martin Evardson residents of Barnoldby le beck.

firstly, please cease stating that this proposed new build is in Waltham

We objected to 66 houses being built on this small plot of arable /grass land green belt and now we have seen the proposed plans to build 82 houses from the builder Snape we plead that under no circumstances must the council of north east Lincolnshire let this disaster in waiting go ahead. Our reasons follow below.

North East Lincolnshire's proposal will have a severe detrimental impact upon residential amenities of Bradley Road Barnoldby-le-Beck. The construction of obtrusive dwellings is not in keeping with the character of Bradley Road.

There are no bus routes along Bradley Road nor plans to provide one.

The shops are not in walking distance for everyone from the proposed development; therefore vehicle movement will further congest Bradley Road/Waltham Road.

Employment opportunities within Barnoldby-le-Beck are scarce therefore new residents would have no other means than to commute to their place of employment increasing traffic volume at peak times from this proposed barren estate.

Barnoldby-le-beck/Waltham from Bradley roundabout is a constant source of speeding vehicles/motorbikes/vans/haulage Lorries. Along with numerous daily slow-moving farm machinery and residents attempting to negotiate to their properties adds to the present impatient road users. The junction to Marion Way onto Bradley Road has caused to my knowledge 4 car versus car collisions. There have been 3 pedestrian deaths further along Bradley Road in recent years and numerous vehicles have careered through hedges.



There is only 1 proposed access to these dwellings. Bradley Road is an Arterial Road which is already at full capacity. Vehicles using this road will suffer a long delay which in turn leads to vehicles cutting into fast flowing traffic onto Bradley Road creating another very serious road safety hazard. Not forgetting the large volume of hobby cyclists and pedestrians. Fatalities will be a matter of time.

The proposed development will have a direct impact on the established wildlife habitats, large established trees will also be damaged by construction works.

Drainage is a present problem, several times a year the Water Board attend blocked mains drainage on Bradley Road at the proposed location. When the proposed 66 was presented, Anglia Water did state that the sewerage drain was not substantial enough, now we read that Anglian Water says it is now ok surly with additional 15 houses this ok must be challenged (we do have Copies of this fact)

The Dyke located on the proposed boundary can be seen already flowing at full capacity during and after inclement weather. The disruption to main drains and existing properties is of great concern.

IF this proposal goes ahead, we need assurances that if our dwellings or land sustain any structural damage including subsidence, North East Lincolnshire Council will be culpable for repair or rebuild of our home as was.

The orientation of our property presently enjoys full sun/natural light will be severely compromised. This proposal will result in an unacceptable loss of our privacy with overlooking and over shadowing.

We will be subjected to immense noise/vibration, airborne and lighting pollution during years of construction and well after completion.

Family/pet noise, anti-social behavior, crime/vandalism/burglary will increase. The siting of the proposed playground will only serve to attract undesirable persons (forms of gangs which normally leads to anti-social behavior and habits). We object to the Social Housing being too close to our home.

Under the current Human Rights Act Protocol 1; Article 1; states that a person has the right to a peaceful enjoyment of all their possessions including their home and other land. Article 8; state a person has the substantive right to respect for their private and family life, which encompasses their surroundings.

To my knowledge present houses are not selling as fast as they once did, many properties are for sale years and not months in this area. Does N.E.L Council have proof/statistics that these proposed new properties will sell at all.

Where is provision for our Strategic Gap at Barnoldby-le-Beck. Without this we have a serious potential to merge into Waltham.

The proposed destruction to Barnoldby-le-Beck greenbelt is inconceivable and wholly unnecessary now and for future generations

Research shows that visually accessing areas of Greenery and Countryside is conducive to General Health and Wellbeing.

To conclude we strongly reiterate that the proposal for this barren estate be rejected



# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mr Kevin Shore

Address: 66 Bradley Road Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I would like to strongly object to this development on the following grounds:

1. The development is over intensification of the site. The local infrastructure cannot cope with the increase of number of homes. The local school only 2 weeks ago, had to refuse admission to a new resident for their daughter. The villages simply cannot cope with the sudden increase in population that has happened recently and is continuing to happen elsewhere in the village right now. These plans are an increase on the last plan of 16 properties. The outline planning was only achieved by a casting vote of one. This indicates that the rest of the planners felt that it was wrong for this site. I will be extremely disappointed if this goes ahead, with an increase of 16 properties! This application should be refused, as it should have last time. NE Lincs Council say that they listen to their residents. This is your chance to prove it.

2. Road safety. I have lived on this road for 20 years. It is a daily problem with speeding vehicles, both into the village and out of the village. There are regular accidents. Only this week there was an accident. I have photographic evidence to show, should you require it. A speed indicator sign has been installed. I assume this was done because it was determined as an area that needed it. I had to apply for permission to have a roadside hedge cut low, because it was considered to present a hazard, not being able to see vehicles overtaking in the 30mph limit area, coming out of the village. In exactly the same place as these plans intend to put the access junction. It is clear that no road safety observations have been carried out for this application. There are no indications of any crossings for families to cross this busy road. If we assume that families are buying these homes, children will need to cross, to get to school etc. I foresee a serious accident happening. On this subject, I invite planners to stand in my driveway, on any day and observe for yourselves, how dangerous this road is. More so on weekends. The intention is to allow at least 82 extra vehicles exiting onto this road, at least twice a day, at busy periods??? It was only a few years ago, that a

vehicle rolled onto its side in the evening, almost opposite this access road.

3. Drainage. There are already problems with drainage in Waltham. Flooding regularly happens in Ludgate Close. The extra surface water has to go somewhere. It is my belief that more flooding will occur. I note that Anglian Water state that it can cope. The same was said for a development in Laceby. My business now floods whenever we get severe weather. This did not happen before the development. My premises have been there since 1930. Someone somewhere isn't doing their calculations correctly.

I ask that this application is refused on the grounds presented and that planners listen to concerns raised. At the very least, I ask that further investigations are carried out on the subjects raised. This road simply cannot cope with traffic emerging onto it at this location.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Martin Tuck

Address: 58 Bradley Road Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: The tracking layout entrance manoeuvres drawing ref E773-06 rev A clearly demonstrate that the T junction layout and close proximity of the estate roads running adjacent to Bradley Road is totally inadequate for the safe manoeuvre of refuse vehicle both onto the proposed development, and onto the very busy existing highway. The refuse vehicles would provide a significant road hazard on an already very dangerous stretch of road by having to traverse over the oncoming traffic lane. This tracking is applicable to all refuse vehicles, HGV delivery vehicles and farming vehicles to gain access and egress from this development, and therefore, the applicant cannot argue that this is an infrequent manoeuvre. I would note this is a very late submission by the applicant, and would suggest the consultation period is extended until all documents are available for review.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mr Martin Tuck

Address: 58 Bradley Road Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: We strongly object to this planning application and would make the following comments:-

- This planning application is not in line with the outline planning application approved due to the number of homes increased from 66 to 82. We would remind you that this outline application was only approved by one vote, and the issues to be considered are now far more detrimental than the first application.
- The design and access statement has zone 1 planting of trees to screen it from Barnoldby Le Beck which is the parish this application is to be considered under. Screening should be provided to Bradley Road for the residents of Waltham. Zone 4 is supposed to be in line with the existing street scene, however, this is not the case as the homes to be developed should be bungalows to comply. This planning requirement has been previously enforced with the limitation of a 6m ridge height which has been ignored by this proposed development.
- The appearance of the homes are both not sympathetic to the environment or suitable to be built in open country side, but are cheap modern constructed homes designed to maximise the developers profit margins. The cost of these homes are not affordable, and indeed will be priced vastly above current homes for sale in Waltham.
- The safety of the road and pedestrian users has not been considered seriously with the proposed development having a single T junction onto Bradley Road. To slow down vehicles a mini roundabout should be constructed to also service Marion Way, but clearly has been discarded on the grounds of costs by the developer to maximise profit. What is the cost of safety!
- The drainage system utilising swales is not for landscaping, but a cheap design method to be provide attenuation. In the event of a rainfall event these swales are designed to retain water, hence, again producing a safety hazard for young children for which this development is aimed at. The developer can easily negate the need for swales by the use of larger bore drainage pipes or underground crates, but again these have been discarded on the grounds of cost without

considering safety.

- No drawings have been provided specific for landscaping which need to be reviewed and commented on by the public, therefore, this application should be rejected.
- The development fails to have footpaths constructed to access each home, and therefore fails to provide a safe access to these family homes.
- This development does not deliver on sustainability and indeed will adversely effect the environment and local community.

Other points have been raised by residents which need proper consideration as you are answerable for your decisions.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Martin Tuck

Address: 58 Bradley Road Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I strongly object to the revised planning application for the reasons previously stated, but would make the following further comments:

1. Despite the area of land reducing from the original application where outline planning was approved for 66 homes this application has squeezed 82 homes onto the plot. I would note the NE Lincs Strategic Housing Land Availability Assessment reviewed this site ref HOU 292 with a capacity of 70 homes, therefore, these plans should be rejected.
2. The type of homes put forward under this application do not comply with the 6m roof ridge height set out by NE Lincs council for homes on this land in Barnoldby le Beck.
3. This parcel of land was assessed by NE Lincs strategic plan as not being an easy walking distance of the Waltham local centre, and therefore, is in acceptance that there will be a greater use of cars within the village from this development. Waltham cannot cope with this increase in vehicles wanting to use the village amenities.
4. The developer has failed to take on board any of the comments previously raised by residents objecting to the development, but merely resubmitted to maximise house numbers and ultimately profit margins. No consideration has been made for safety with the road junction still being a T junction not a roundabout opposite Marion Way which would provide a physical means to slow road vehicles down on this busy road. The drainage system design persists with the use of swales as this is the cheapest method of attenuation, hence, designing in a risk in flood events for small children. House numbers 26, 27 & 28 have been squeezed in with the result of the public footpath being an island to Bradley Road and the estate road which is totally unacceptable for safety reasons.
5. The Deneves Waltham Road Barnoldby le Beck application DM/1069/14/FUL was rejected on the grounds of not being suitable in open countryside which is in clear view of this parcel of land. I fail to see how this development cannot be assessed in the same manner as it is clearly in open



countryside.

6. The developer has failed to provide up to date documents to support this application such as an appropriate flood risk assessment. This development cannot be approved until the update documents are provided for the NE Lincs councils consideration.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Diane Hood

Address: 44 Bradley Road Waltham Grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I strongly object to this planning application. The area cannot cope with this scale of housing. The previous plans for 66 homes only got through by one vote but now they feel they can increase it to 82 homes by including social housing, but it will increase the traffic on an already very busy road. The local schools are already full so anyone needing to get to a school will have to travel by car. I'm also concerned about flooding in the area, can the council guarantee the drains will cope with the extra houses.

I hope the planning committee take into account the views of the local people and parish councils from the previous planning application as well as this one.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Ian McDermid

Address: 40 Bradley Road Waltham Grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I am strongly against 82 properties being built in this location as the public transport from Waltham only goes into Grimsby, many families are obliged to use two cars for travelling to places of work. Building 82 houses could cause a further 160 cars on Bradley Road, this is quite a reasonable statement to make a short walk around the area will make my point quite clear. The pollution both by noise and exhaust fumes is already unhealthy as it is, fortunately for him the builder will not have to tolerate this, but we will along with the congestion and road safety issues when the council gives permission to build them.

I also would point out that the level of traffic using Waltham High Street is at the moment at a very high level, more cars is really not what the village needs.

Families will of course live in the new estate possibly 300 more people eventually, the area can not cope with this amount of influx. PLEASE CONSIDER OUR QUALITY OF LIFE.

Thank you Mr I McDermid

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Ian McDermid

Address: 40 Bradley Road Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: This proposed development is totally unsuitable. Crowding in 82 houses means quite possibly 300 more residents, also an estimate of 100+ additional vehicles is not an unreasonable point to make. Bradley Road is already heavily used as it is (7000 vehicles per week was the official council finding). The level of noise and pollution will become even more unpleasant especially in the morning and evening rush hour.

There seems to be an absolute determination to build these houses regardless of the safety and environment issues.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Dawn Tuxworth

Address: 74, Bradley Road Waltham Grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I strongly object to the proposal to erect 82 dwellings on the land immediately opposite my house. I objected to the previous application for 66 houses to be built on this land, 82 just strengthens my objection.

I hope that the almost 100 objections to the previous application are being considered as they are undoubtedly relevant to this application and cannot be overlooked as belonging to a previous application. People who objected previously possibly believing that their comments remain valid and being considered when in fact they have to make the same/ similar objections yet again in order to be counted, I sincerely hope this is not the case.

I, like many others believe that the increase in traffic coming from an additional 82 houses is totally overwhelming for our already busy/ dangerous B road, leading to more accidents/ fatalities. Many drivers pass my house, ( a 30mph zone), at speeds in excess of 60mph despite the signage in situ. Pollution is also an issue, particularly for those with chest/ breathing difficulties, the increased traffic concentrating the noxious fumes in that area.

There are no places at our local school, I know this as I have grandchildren approaching school age, to load up the area with yet more families with children is ridiculous when there are no local facilities for them.

We have no General practices in the village now meaning that the population of Waltham already has to use practices in Scartho and Holton Le Clay which are already over subscribed to.

I have lived in my house for 5 years, lived in Waltham for 35yrs, I moved here because of the incredible views I have across the Wolds, I can see for miles, the sunsets are especially beautiful, I know that this is not considered a valid point but in my opinion it is, why destroy an area of natural beauty when there are goodness knows how many brownfield sites which are available for redevelopment. Waltham is a village, not a town, please save its beauty and appeal so that future generations can appreciate the care taken to keep the village feel was taken and it wasn't just a

case of banging up unneeded housing estates anywhere and everywhere.  
Now its your chance to show that you actually care.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Dawn Tuxworth

Address: 74 Bradley Road Waltham Grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I strongly object to the proposal to erect 82 dwellings on the land immediately opposite my house. I objected to the previous application for 66 houses to be built on this land, 82 just strengthens my objection.

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There are no places at our local school, I know this as I have grandchildren approaching school age, to load up the area with yet more families with children is ridiculous when there are no local facilities for them.

We have no General practices in the village now meaning that the population of Waltham already has to use practices in Scartho and Holton Le Clay which are already over subscribed to.

I have lived in my house for 5 years, lived in Waltham for 35yrs, I moved here because of the incredible views I have across the Wolds, I can see for miles, the sunsets are especially beautiful, I know that this is not considered a valid point but in my opinion it is, why destroy an area of natural beauty when there are goodness knows how many brownfield sites which are available for redevelopment. Waltham is a village, not a town, please save its beauty and appeal so that future generations can appreciate the care taken to keep the village feel was taken and it wasn't just a

case of banging up unneeded housing estates anywhere and everywhere.  
Now its your chance to show that you actually care.



# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr norman phillips

Address: 20 bradley rd waltham

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Already too much traffic on Bradley Rd. People who live on this road suffer noise and air pollution which affects our well being.  
sorry but i must object to this application.

Yours Faithfully

N Phillips.

Mr R. Limner

NELC.

Gainsly.

REF. DM/0056/20/FUL.

N. Phillips  
20 Bradley Rd.  
Waltham.  
2-4-20.

Dear Sir I am writing to object to more  
houses being built, ie 82 on Bradley Rd.  
We already have more than enough.  
We moved here Aug 2010, looking  
for a quiet peaceful retirement home.  
Since then the ever increasing amount  
of traffic, has blighted our lives. Kindly  
note our objection.

Yours Faithfully  
[Redacted Signature]

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Allan Barr

Address: 27 Bradley Road Barnoldby le Beck Grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I have looked at the submission and would like to object to the plans for over 80 houses at this location.

My primary concern is the additional traffic that would be generated along Bradley Road - if the Council Highways Department conducted any traffic survey they would have already noted the both the excessive number of cars and heavy wagons using this narrow 30 mph road but also the reckless speeds that are evident.

These houses will only lead to greater risks to the residents that live down this residential area. Without any survey and with no plans to manage the increased traffic danger this application should be rejected.

Regards

Allan Barr

39 Bradley Road  
 Barnoldby-le-Beck  
 Grimsby DN370YW  
 NELincs

Ref, No DM/0056/20/FUL

Dear Sir ,

I have lived in Barnoldby le Beck Village for 45 years now and I have slowly watched it turn from a small village to an extension of Grimsby due to the amount of building which has been allowed to happen.

The new development planned for Bradley Road what I understand now crept up to 82 homes, with the main road coming out onto Bradley Road.

This development would I imagine probably another 150 vehicles, give or take ,coming in and out on a daily basis. I live on this road and I can honestly say it is an accident waiting to happen.

I take my life into my own hands when trying to cross the road to get to my disabled daughter's home at no 46 Bradley Road, which is something I have to do several times a day.

On top of this to get in and out of my drive is a total nightmare as nobody slows down for you . The police in my opinion should have their speed detection vehicles and cameras at this end of Bradley Road, not Bradley village, they would make a lot money .

The school is absolutely full so where would all the children from these 82 houses go .

The dentist is also not taking any more patients and we have no doctor here in Waltham .Allowing this development to go ahead , would in my opinion, be disastrous.

Yours Faithfully,        Mrs Maureen Mumby-Croft

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Graeme Clifton

Address: 6 Willow Park Barnoldby Le Beck, Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I object to this new development for the following reasons.

1) ROAD SAFETY - Bradley Road is a country lane which is already extremely busy at peak periods with commuter traffic. Heavy goods vehicles, cars, cyclists, and pedestrians already use this road. The road has several blind bends which have been the sight of serious accidents in the past. The addition of 82 additional homes and the associated increase in traffic will create considerable traffic congestion on Bradley Road and make it more dangerous to use. Bradley Road is not designed to take this level of traffic.

2) ROAD SAFETY - There is already a lack of public amenities (schools, shops, leisure facilities, supermarkets, doctors' surgeries, dentists, etc) in Old Waltham. Without these amenities the public are forced to commute primarily into Grimsby to access these services. Both Scartho Road and Bradley Road are already overloaded at peak periods which is demonstrated by the increasing number of incidents and accidents. The addition of more commuter traffic will exacerbate the situation.

3) LOSS OF AMENITY - The proposed new development will have an extremely negative impact on the amenity of the properties close-by through increased noise, loss of privacy, overlooking / overshadowing, smells and late-night activities.

4) PUBLIC AMENITIES - Old Waltham is a small village which does not have the required public amenities (schools, shops, leisure facilities, supermarkets, doctors' surgeries, dentists, etc) to support its current residential population, let alone a new development of 82 homes.

5) ACCESS ROADS - The development proposes two access roads to the east on to farmland (Access Road 9 & 10.) I am unsure what these access roads are for, other than for a future expansion of the current 82 home development.? Would it be possible to explain what these two access roads are for please?

6) ACCESS ROADS - in addition to the two access roads mentioned above, the development

proposes a Farmers Access road to the east on to farmland. I'm unsure what this access is for? Surely it would be dangerous to have large, heavy, farm machinery transiting through a housing estate.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mr Graeme Clifton

Address: Honeybee Cottage 6 Willow Park Barnoldby Le Beck, Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I object to the proposed housing development of 82 houses for the following reasons;

(1) HIGHWAY SAFETY - Bradley Road is a country lane which unfortunately already has heavy traffic on it at peak periods. This traffic includes farm traffic, heavy goods vehicles, commuter traffic, cyclists and walkers. Bradley Road has a history of incidents and accidents and the addition of this new development would significantly increase the safety risk on this road. (2) LOSS OF AMENITY - Barnoldby Le Beck is currently a small tranquil country village and the addition of this large new development would adversely impact the character of the village which currently borders open land. 82 new houses would bring additional noise, nuisance and traffic generation. (3) SUPPORTING INFRASTRUCTURE - Old Waltham & Barnoldby Le Beck has extremely limited school and medical capabilities, no large shops or supermarkets. In general the usually expected local amenities are not available in the two villages hence, if the new development takes place, an abnormally high level of commuting by vehicle would be required which would overwhelm and destroy the two villages.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Miss Jane Mills

Address: 5 Gleneagles Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Same as previous comments Totally object to this development. Far too many new builds within the village already. Traffic increase and safety getting onto Bradley Road already dangerous and pollution from more cars will be damaging for the environment. The fields should be kept for agriculture as wildlife will also be effected as their habitat will be destroyed. Local flooding will be increased as those fields already hold standing water. The village of Waltham and Bradley do not have enough school places as it is and the danger of the high street with additional vehicles means getting to school or local amenities is more hazardous the pavements aren't wide enough. Local buses do not run frequently if at all down Bradley Road. The village boundaries are getting too small. Bradley Road is already a dangerous road with numerous accidents over the years access onto the road is not safe. Local fire brigade now none existent as Waltham station not manned 24 hours additional housing more risk for emergency services. Waltham village high street far too busy already with cars and heavy goods vehicles causing damage to road services and environment, major pollution concerns.



# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Miss Jane Mills

Address: 5 Gleneagles Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Totally object to this development. Far too many new builds within the village already. Traffic increase and safety getting onto Bradley Road already dangerous and pollution from more cars will be damaging for the environment. The fields should be kept for agriculture as wildlife will also be effected as their habitat will be destroyed. Local flooding will be increased as those fields already hold standing water. The village of Waltham and Bradley do not have enough school places as it is and the danger of the high street with additional vehicles means getting to school or local amenities is more hazardous the pavements aren't wide enough. Local buses do not run frequently if at all down Bradley Road. The village boundaries are getting too small. Bradley Road is already a dangerous road with numerous accidents over the years access onto the road is not safe. Local fire brigade now none existent as Waltham station not manned 24 hours additional housing more risk for emergency services. Waltham village high street far too busy already with cars and heavy goods vehicles causing damage to road services and environment, major pollution concerns.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Miss Jane Mills

Address: 5 Gleneagles Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I wish my objection to the building on this land to be noted. This land should be left as farm or green belt as there is local wildlife that would be disrupted. This land is also prone to flooding. There are not enough school places at the local primary school, bus services do not run frequently enough. The amount of traffic that will come through the village will add to the already extremely busy road. Emergency services for the village have already been reduced with the loss of our local fire station. There are far too many housing developments within Waltham that have already and currently being built. There are far more brown field sites that could be utilised for building within Grimsby. Affordable housing is not being provided to for those that really need it they are being bought for renting out. The environment will be compromised in our local area by the increase in traffic and loss of habitat for nature. Again I totally object to this development to go ahead and as a local resident my view is important and must be listened to.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Katrina Taylor

Address: 97 George street Cleethorpes

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I'm objecting about this because of a couple of things, firstly traffic is already an issue in the village especially at the moment because of the works on the A18 and people are using the village as a cut through.

Secondly there is going to be a major stretch on public amenities like the nearest school, which is in Waltham, that is already at full capacity as it is without the proposed houses, so where are the children of the families that buy them going to go? Waltham fire service is going to have to be invested in, with them only having 1 response vehicle and a crew that are on call as and when they are needed, response times to an incident are going to be slower than normal and if multiple incidents in the villages they serve, happen at the same time, well I hate to think about how they will cope.

Lastly what cost on the natural environment will going ahead with this development have?

Barnoldby is a pretty village so let's keep it that way, new housing estates have been popping up all over and a lot of them are half empty still and they are expensive as well, so not ideal for first time buyers in our area due to a lack of jobs. Every day you hear of another shop leaving Freshney Place, factories are closing and homelessness is on the rise, instead of new builds, existing empty properties need to be looked at and the question asked "did we really need to build them?".

I have friends that live in the village and they are devastated that these dwellings have been approved, it is going to drastically alter their way of life and spoil the village community spirit that they love, so please rethink this development as the village doesn't need it.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Melanie Cadey

Address: 10 Alderley Edge, Waltham Grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: The traffic is now so bad in the village and we have difficulty pulling out on to Bradley Road at present. The traffic backing up through Bradley village trying to get through to Grimsby without further congestion from a new housing development on this road.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr David Milthorp

Address: 5 Archer Rd Waltham GRIMSBY

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: This will take away all of the appeal Waltham has as a village. The roads around this application cannot take any more vehicles without causing major congestion to the village.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr David Milthorp

Address: 5 Archer Rd Waltham GRIMSBY

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: The number of 82 dwellings is far too many, it will take away the feel of a village from Waltham. Traffic will increase, the number of people swelling the local population will be unacceptable.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout plans including zebra crossing, boundary treatments and plot repositions - Sept 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr David Milthorp

Address: 5 Archer Rd Waltham GRIMSBY

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: This application if granted will destroy Waltham as a village, Waltham has not got the infrastructure to cope with this many more houses. It will increase traffic that is already causing delays during peak time.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Lynne Brain

Address: 14 Archer Rd Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Waltham and surrounding villages cannot sustain the amount of development that's been proposed. There's not the amenities nor the infrastructure to cope with another 82 developments, that's potentially another 160 vehicles to add to the congestion, the roads through these villages cannot cope with all the extra volume. There are enough new houses being built within the local area without adding to the problem of congestion, pollution and the impact of wildlife losing their local habitat.

There are no school places within the local area therefore people will have no option but to drive as transport links are poor.

I cannot think of one advantage to having these dwellings passed, especially on a greenfield side which could be a potential flood risk. I strongly object to this proposal.



# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Lynne Brain

Address: 14 Archer Rd Waltham Grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Barnoldby le beck and Waltham haven't got the infrastructure to cope with any more development. There are no local school places, which means that the roads will be gridlocked. More development means less green space which will impact on flooding issues, not to mention wildlife habitats. The 2 villages will struggle to accommodate even more development.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Jo Dunn

Address: 2 Coltsfoot Drive Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Your own doc: <https://www.nelincs.gov.uk/wp-content/uploads/2018/05/20180518-AdoptedLocalPlan2018-WEB.pdf> states that the maximum capacity if this development is 66. Submitted new plans have changed detached houses into semi detached. Increasing potential vehicles from 2 originally to 4, and the number of people per household had potentially doubled.

The village has had a significant increase in traffic over recent years and Bradley Road has become increasingly fast and dangerous. I have been missed being hit by a car by inches when I have been turning left out of Marian Way onto Bradley Road by traffic overtaking heading out of the village - exactly where this development will be. Increased household means increased traffic, bringing increased risk.

The local primary school is also at capacity of students and increased class sizes cannot be accommodated. Changing the style of property will bring will increase households yet not school places.

I ask NELC Planning to turn down the 'new' planning application.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Joanne Dunn

Address: 2 Coltsfoot Drive Waltham Grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: This development has increased in household size, bringing more traffic, more parking issues, and more stress on the local school. The developer was well aware of the need for social housing yet waited for the initial plans to be approved before then amending them. This site will become over developed with the amended plan. We do not need more houses on greenland. The original plans should stand.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Stephen Payne

Address: 6, Coltsfoot Drive Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Should this development go ahead, not only will the already dangerous Bradley road become even more dangerous, but the local schools will be at capacity. Also the taking of children to and from school through the village will be mayhem at peak times. The roads in Waltham were initially made for horses and carts and have never been widened because it's a village!!

I have had several near misses when turning left out of Marian Way (and right to Bradley), cars speeding / overtaking not knowing there is a junction there. Sometimes just getting out of Marian Way on to Bradley road takes ages, it would probably be longer if more people are commuting via cars from the new development. I believe it would be unsafe to increase the local community by building these houses, the traffic volume would be ridiculous. Waltham and Barnoldby-Le-Beck might as well be called Waltham-Le-Beck, as they encroach on one another with more houses. I object to the building of this development for these reasons.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr John Cooper

Address: 3 Marian way Waltham Grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I, like others who have commented on this application, continue to object against these plans.

None of the previous complaints have been addressed and adding to the number of houses being built is an insult to those who have previously objected.

I again stress that this build should not go ahead on the following points.

Road safety.

Schooling.

Village infrastructure.

Wildlife disruption.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mr John Cooper

Address: 3 Marian way Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: My wife and I strongly object to this plan for extra housing on the following points.

1. Increase in number of houses since last attempt to build on this site.
2. Road traffic. Bradley road has too much traffic already and is difficult to get on to from Marian Way at peak times, these additional houses will increase substantially the amount of traffic and we have no other exit except Bradley road.
3. Access, although this is planning for Barnoldby-Le-Beck, it will be Waltham that suffers the most due to the access road being directly on to Bradley road.
4. Local facilities are already stretched and the local infrastructure cannot cope with this increase.
5. Parking and minor roads in the village are already at capacity.
6. School waiting list, I believe children are already having to go to other villages.
6. Environmental, the impact on wildlife.
7. Drainage, this is already stretched, building new houses will exacerbate the situation.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Judith Canavan

Address: 4 Marian Way Waltham

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: My concerns voiced on 29 February remain - and indeed increase from the start given that the initial proposal was for 66 - and now - 82 homes. This will increase the density and exacerbate concerns regarding traffic flow, accidents, overcrowding and parking issues in the centre, schools struggling with increased pupils, drainage etc and the basic principle of expanding onto greenfield sites when so many brownfield ones are available. The expansion towards Barnoldby-le-Beck will substantially increase the population of this parish with no meaningful amenities and bring the two places closer - leading to identity issues. Enhancing landscaping does not address the fundamental issues which remain.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Judith Canavan

Address: 4 Marian Way Waltham

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Waltham has grown hugely in many directions in the last 35 years with substantial current development along Cheapside to the south east. The area to which this planning application relates seemed to be a definitive 'boundary' during earlier expansion to the north west. Allowing further building on the west side of Bradley Road would extend the continuous built - up area towards Barnoldby-le-Beck and the recent developments to the east of that. Identity of those two places should be considered. The optimum size of Waltham should also be addressed - this commuter village has doubled in size - with limited new facilities - The Leas remains the only primary school with large class sizes; there is limited parking in the village - an issue which can only be exacerbated by further increase - and at least another 80 cars the traffic. The traffic on Bradley Road - both volume and speed are a significant concern - even with measures planned to be put in place. Further sprawl of Waltham is not desirable - especially when there are so many brownfield sites within the Grimsby area where development would enhance the use and appearance of these.



# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Daniel Wade

Address: 5 marian way waltham

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I continue to object to this application as per my previous comments. These included lack of education provision, road layout including the site entrance being situated on a blind bend, village amenities being overwhelmed and wildlife destruction.

It should be noted that this application is now onto its 3rd revision since the original application was submitted. This continual change to the application is both annoying but also time wasting. No matter how the developer changes the layout they are still insisting on a higher number of properties than that approved during the outline planning. The application can not have been in a state of readiness when it was first submitted otherwise the additional documentation would not of been required. I also see that the developer as now involved the councils principal contractor ENGIE in planning the landscaping side of the application. Is this not a conflict of interest on the part of ENGIE since their employees are the ones who will be assisting the planning committee on the decision to approve or refuse. A final date for decision should now be made public instead of the past date shown on this portal and this unwanted development refused. Waltham can not continue to be developed on this scale without additional education facilities being available upfront. Since the initial application was submitted I know of 2 car crashes along the stretch Bradley road adjacent to Marian way. Adding another junction is likely to increase the risk of accidents along this stretch of road.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Daniel Wade

Address: 5 Marian Way Waltham

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: From what i can see from the amended plans the only things to change are locations and types of buildings.

My original comments from the original proposal still stand with regard to lack of available schooling, Increased risk of traffic accidents along Bradley road especially near Marian Way, Lack of amenities within Waltham and Barnoldby for the increased population and development of greenfield sites.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mr Daniel Wade

Address: 5 marian way waltham

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I object to this application for the following reasons

1. The original outline planning application was approved for 66 dwellings. This was approved on a casting vote by the then planning committee chairman showing that the committee were not fully in agreement with the application. This full planning application is now for 82 dwellings. This is an increase of almost 25% from the outline planning application.

2. Road safety- The proposed entrance/exit to the development is very close to a bend on a slight incline on Bradley Road. This area of road is an area where the traffic starts to speed up when leaving Waltham. I have followed many cars on my way home to Marian way at 30mph for them to be pulling away from me indicating they are increasing their speed up to the 40mph speed limit of Bradley road outside of the waltham limits.

Vehicles entering Waltham also don't reduce their speed down to 30mph until close to the proposed entrance to the development. This can be demonstrated by the fact that the fixed speed indicator just passed Marian way shows speeds higher than 30mph I would say for 85% of cars entering Waltham along Bradley road.

Cars have also been seen overtaking on this section on road while entering and leaving Waltham. The original outline application included a zebra crossing to allow pedestrians to cross Bradley road. This new application has removed the crossing which will require pedestrians to cross Bradley road. I have attempted to cross Bradley road myself and at times it can be very hard to cross safely. If families with young children moved onto the new development they would have to risk their lives in the morning/evening to cross the road to take the children to and from school.

3. Education provision- The local primary school is already full with children living in Waltham having to attend schools in Scartho, New Waltham and East ravendale. Even with the primary school contribution from the developers this is not likely to allow extra classrooms to be built or extra teaching staff to be employed.

With the additional developments currently ongoing down cheapside any children moving to the village are not able to get a place at the local school.

4.Waltham Amenities- The local amenities are already very busy with the 2 car parks in the village being full at peak times. The car park behind the tilted barrel is full throughout the day with some cars being left there by people who work in the village. When the car park at the CO-OP is busy this inevitably results in queues of traffic on the road. THE situation is only going to be made worse if more new development is allowed to happen.

5.Drainage- Over the past few weeks of storms the drains at the Bradley road end of Marian way have not been able to cope with the deluge of water with the street becoming flooded and the water running off onto Bradley road. With additional drainage from the proposed development tying into the Marian way drains this situation would be made worse.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Danielle Greensmith

Address: 6 Marian way Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Since moving in to our property we have witnessed numerous multi car smashes at the junction of Marian way and Bradley road due to the junction being so close to the first blind bend on Bradley road where people speed up. Adding a new road and further traffic will only increase these collisions further. The fields are a green belt which will be taken over by further housing which will be for families, overcrowding schools, increasing waiting lists and also over working the drainage systems which will start flooding like in other areas. These houses are not a necessity and a risk to road safety on such an already increasingly busy road. The junction to Marian way will become a nightmare to get out of and add further hazards.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Linda Craven

Address: 59 Ashby Road Cleethorpes

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I wish to object to the planning application for 82 houses on Bradley Road Barnoldby-Le-Beck.

The infrastructure of the nearest village-Waltham cannot support the large amount of houses proposed. The houses are aimed at families but there will not be room at the local primary school as it is oversubscribed. The local doctors in the surrounding areas of Waltham, New Waltham, and Scartho are not taking on new patients. Bradley Road is a busy road that has had many accidents so extra traffic from the proposed 82 houses will lead to more accidents.

The original planning application was for 65 houses and that was only narrowly passed so how can the builder now apply for 82 houses on the same size site that will cause more problems for the local residents, proposed residents, local wildlife-including protected bats and put more strain on the village and local infrastructure.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Shirley Drew

Address: 49 Westfield Road Waltham Grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Waltham village does not have enough facilities to support any more houses  
Schools are at full capacity & the roads are already too busy.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Helen Logan-Brown

Address: 64 Sheldon Road Scartho Top GRIMSBY

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Having grown up close to the site and still regularly visiting my parents there, I object to this development based on the strain it would cause local amenities, the increase of traffic on an already busy road, the fact it surpasses the maximum capacity of 66 houses as previously mentioned by NELC on page 131 of the adopted local plan pdf. The entry and exit to the estate, where a number of children would be using the paths and crossing to get to school or use public transport, is onto a stretch of road where the traffic speed survey took place and revealed that approximately 700 cars were caught speeding along there at up to 65 mph, which makes this a dangerous place for family housing to be sited. Given there are plenty of houses sitting unsold in the surrounding area, this development is unneeded.



# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr matthew hubbard

Address: Pear Tree House Waltham Road, Barnoldby-le-Beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:I strongly object to this application.

The proposed development is an over-intensification of the site, neither Waltham nor Barnoldby-le-beck have adequate infrastructure or resources to accommodate a development of this scale.

REF. NO.  
DM/0056/20/FUL

Southlands,  
Waltham Road,  
Barnoldby-le-Beck,  
Nr. Grimsby,  
Lincs.

30/3/2020

I would like to make  
a strong objection to the  
proposed larger development planned  
for Bradley Road.

The road is a very busy one already,  
without more traffic coming on to it.  
It has many dangerous bends  
which have to be taken with care.

The village facilities schools etc.  
have problems now with allocation  
so what more will be catered for.  
A detrimental step on allowing this  
to proceed, on such an already busy road.

C.A. & J.M.

BROCKLESBY

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Nancy Malkin

Address: 10 Birkdale, Waltham, Grimsby, North East Lincolnshire DN37 0EL

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: See my previous comment which still stands, especially as it seems now that even more houses are planned.

My main objections are increase in traffic followed by destruction of a green field site.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Nancy Malkin

Address: 10 Birkdale, Waltham, Grimsby, North East Lincolnshire DN37 0EL

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:- Transport - the entrance to this new development is off Bradley Road which is a very busy road linking Waltham with Bradley and Grimsby. With the A18 Barton Street currently closed for a long period, as it often is, Bradley Road is the only way out of that end of the village up to the A18, Grimsby and access to the A180. It is therefore extremely busy at peak commuter periods and as a result traffic coming out of the estate at Woodhall Drive and Marian Way T-junctions already have to queue to get out and onto it. Another access road from this development would increase traffic and waiting times at the junctions of Woodhall Drive and Marian Way. Bradley Road is well used by cyclists, agricultural vehicles and heavy goods lorries, and cars often speed into the village from the Grimsby direction, so another junction onto it increases the risk of collision. People would also have to cross Bradley Road to access amenities in Waltham as there are no amenities on that side.

- Impact on environment - the 'sheep field' is a pleasant 'greenfield' site where kestrels can be seen daily, and bats and owls at night, and it presumably has other wildlife on it as well. There is some irony then in naming the proposed houses after trees and flowers. The development, whilst on land in Barnoldby-le-Beck will have an access road built only to Waltham, so blurring distinction between the two villages. The development would also start to fill up the land separating Waltham and Bradley too, so in effect this would remove some of the green belt around Waltham and lessen its identity as a separate village. This new development would effectively box Bradley Road in on both sides with estate houses. Replacing agricultural land with housing must also affect the run-off of water into the drainage system and increase the likelihood of flooding to existing, as well as the new, houses.

- Lack of local amenities - The access road will be onto Bradley Road in Waltham; residents will

use amenities in Waltham, as there are few in Barnoldby-le-Beck, so this planning application should be considered in light of the amenities available in Waltham. The local school is in Waltham and is already full. The shops, again in Waltham, already can't cope with the number of people here and parking space is limited. Houses are unsold on the estate opposite to this development, so this is not a case of providing homes because there is a local shortage.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Paul Bryan

Address: 36 Woodhall Drive Waltham Grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Waltham village is overcrowded as it is, traffic is a real problem at peak times through the village. Emergency services struggle to get through, at some point a death will occur as a result of emergency services not being able to attend a member of the public who is in need. The village needs the infrastructure improving to try and reduce traffic through the village before any more houses/dwellings are built. Most Sat navs now direct motorists into the town via barnoldby le beck and with 82 new homes, most of which will have more than one car, I feel it will impact on the already current problems we have in Waltham. My mother in law who is in her 80's lives at 18 Bradley road Waltham and can suffer with her breathing at times and I feel the extra traffic would also reduce the air quality especially at peak times on her doorstep as well as cause a hazard to her, should she want to cross to use the post office mail box.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout plans including zebra crossing, boundary treatments and plot repositions - Sept 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Andrww hinkley

Address: 79 woodhall drive waltham grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:Bradley Road is already a busy road and my thoughts are the Safety off traffic exiting the new estate with car diving round near by corners in the road

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site plan and house types 10th March 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Sue Eames

Address: Woodhall Drive Waltham Grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I don't want more houses being built around this area, it will increase the traffic becoming more dangerous on the roads. It will spoil the area as a whole. Planning permission was declined before just because you are changing some detached houses to semi detached is still not going to change how the residents feel.



# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Elaine Burnett

Address: 12 Harvest Crescent Waltham

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I am against this development as it will add to the already busy road

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Stephen Boyd

Address: 8 Cheesemans Close Waltham

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:DM/0056/20/FUL

## SURFACE DRAINAGE

The developer places great emphasis on the sustainable and environmental benefit of this application, now that he wishes to increase the number of homes from the outline application. Yet, the Flood Risk Assessment Addendum recognises that the soils on this site may not be suitable for infiltration due to their high clay content. On that basis, I would expect to see far more individual design features on each home and throughout the site to minimise and make use of surface water runoff before discharging what is left into an existing ditch. Has the developer not heard about climate change?

Connecting to an existing ditch to carry away surface water is the default and the lazy design option.

Where are the green roofs that would naturally attenuate runoff or rainwater harvesting for use in each home? The last feature alone would reduce water costs for each household; particularly useful if the homes are intended for younger buyers, as claimed. It is essential to reduce surface runoff to a low volume before discharge into a watercourse if infiltration cannot be used. More could be done with the right designs.

The site lies at the edge of the drainage basin of Buck Beck which causes considerable issues of flooding in Waltham. Have the developers established if the ditch system it is proposed to connect to also connects the drainage system of Buck Beck?

Buck beck drains virtually the whole of Waltham. Its drainage system is made up of field drains similar to those on the western edge of the site. As homes have been built over the years and spread out from the village centre to Bradley Road these drains have been utilised to take surface water away. Each successive development has altered their course to suit so that now there is no precise record of their positions. Piecemeal development over the years means their ability to drain efficiently has been affected and residents of homes on Bradley Road further into the village near Salisbury Avenue are frequently inundated by the drain which reappears near Salisbury Avenue.

The roofs of this intensive development of 82 homes will discharge a huge volume of rainwater to be disposed of safely. Most SuDs designs achieve, at best, an approximation of how the system will behave in reality. The developers may feel future residents of the site will be flood-free, but will the proposed drainage plan, especially size of the pond, be enough to attenuate flows in a 100-year event and not exacerbate flooding issues further into Waltham?

Buck Beck begins immediately opposite on the other side of Bradley Road. The development is relying on discharge into Team Gate Drain taking surface water northwards away from the drainage system of Buck Beck. Has the direction of flow been definitively established, especially in prolonged rain, to rule out a possible direction of flow into Buck Beck?

Has the direction of flow been established for the ditch on the western boundary and the connecting ditch on the southern boundary? The western ditch continues to Waltham Road close to where the drainage system for Buck Beck connects via field drains. It is important to establish if flows would feed into this south-eastern system, not merely take for granted that it does not.

Waltham Parish Council is rightly concerned about drainage issues, as am I, a householder whose home on Buck Beck has flooded. I see Buck Beck rising to its Peak Flow very quickly and frequently. Its drainage basin has had numerous new homes built in the last few years with more in the future as the "Design, Access and Planning" document states in its justification for intensification.

All of these new homes and developments calculate Qbar and use the results to achieve an acceptable solution for a SuDs design; but these calculations achieve, at best, an approximation of how the system will behave in reality. Buck Beck is reaching Peak Flow in 1:20 and 1:30 year events. The flow is being sustained for longer bringing the heightened possibility of flooding in prolonged rain to homes further away from this development. That kind of rainfall event is now frequent; charging the beck almost to capacity. A 1:100 year event would almost certainly lead to flooding of homes in Waltham. Each new development adds to the volume of water.

if Waltham is to absorb yet another large development, with all the problems it brings the village,

then we need to be certain that an intensive development like this has not merely gone through the tick boxes of SuDs, but has based the design firmly on understanding all aspects of surface water flow on the site so that others away from the site are not affected by unanticipated extra water flows during periods of heavy rainfall. Using a fluorescent tracing dye to establish the direction of flow in the ditches during wet periods would resolve uncertainties as to whether the ditches eventually feed water into Buck Beck.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout plans including zebra crossing, boundary treatments and plot repositions - Sept 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Mark Chapman

Address: 3 Beck Farm Mews Barnoldby Le Beck Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: If 82 properties were to be erected that would be an increase of 20% to Barnoldby le Beck existing residency, and goes against the figure listed in the strategic housing land availability assessment 2015, under reference HOU292 which gave a potential capacity of 70 properties.

The local infrastructure is inadequate to provide for this level of increase. There are no services or facilities in the villages of Barnoldby Le Beck or Bradley, leaving the limited amenities in Waltham to try to accommodate.

Residents in Barnoldby-le-Beck are already being informed of limited capacity in local schools - if current residents are struggling to secure attendance for children into school, how is this going to be achievable for 82 new residents homes? This will only get worse with additional houses, putting unnecessary stress on the schools and jeopardise the standard of teaching, should the number of pupils per class need to rise to accommodate the increase in demand.

The new houses will lead to an increase in traffic on Bradley road into Waltham. Bradley road is already a traffic and accident hot spot, this will only continue to get worse, cause delays getting in and out of the village and cause unnecessary bottlenecks.

The area of the development site already has water drainage issues and the increased housing will not help - It is also noted that the flood risk assessment accompanying the application has not been updated since 2016 and still refers to 66 houses.

The pedestrian crossing has since been adapted into the recent planning update, however only when this was identified as one of the many concerns outlined that had been overlooked. If this level of care is missing in the initial plans, it is concerning that other essential and important

updates are likely to be missing also.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout plans including zebra crossing, boundary treatments and plot repositions - Sept 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr David Woods

Address: 66 Achille Road Grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I wish to object to the Bradley Road planning application. Bradley Road is very busy especially at rush hour and when the extra traffic meets Bradley Cross Roads, the roads into Grimsby will be even more congested than they are now and traffic will meet up with extra traffic when the development near the cross roads is completed. Also I feel very sorry for the residents of the top end of Bradley Road who, up to now, have enjoyed the view of open countryside. Instead they are going to have to look at a housing development.

# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout plans including zebra crossing, boundary treatments and plot repositions - Sept 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Luke Greetham

Address: 22 Chiltern Drive Waltham Grimsby

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: A further 82 properties, on top of the developments down Cheapside as well as in Brigsley (on the fields behind Elsham Drive/Chestnut Crescent), would greatly overwhelm the village amenities and schools. Furthermore, no doubt that soon Waltham, Brigsley, Holton le Clay, Barnoldby, and Ashby will all merge to form a suburb of Grimsby - further forcing the countryside away from homes.

I understand that the housing crisis requires new builds, however, I firmly believe that brown field sites should be the place for new estates. Building on green field sites need to be reserved, whether for arable land or for turning back into meadows - that's what the village needs, more investment in making nature accessible to the people currently living here. I hope that this estate planning gets withdrawn and a new plan drawn up to utilise one of the many brown field sites that litter North East Lincolnshire.



# Comments for Planning Application DM/0056/20/FUL

## Application Summary

Application Number: DM/0056/20/FUL

Address: Land At Bradley Road Barnoldby Le Beck North East Lincolnshire

Proposal: Erect 82 dwellings to include garages, access roads and landscaping (amended site layout, house types and statements July 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr ron shepherd

Address: shepherds purse bradley road grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer made comments in support of the Planning Application

Comment Reasons:

Comment: This development is in line with the governments housing plan. The area will benefit from the development. The increase in traffic will be minimal and the supporting plan to reduce speed limits on Bradley road is welcome. The development of this area is inevitable considering the geographical position of Waltham and should be encouraged. The development is within keeping with other builds within the area. As a resident on Bradley road I fully support this application.

**PLANNING COMMITTEE - 4th November 2020**

**ITEM: 2**                      **RECOMMENDATION: Approval with Conditions**

**APPLICATION No: DM/0506/20/FUL**

**APPLICATION TYPE: Full Application**

**APPLICATION SITE: Daisy Dene, Deaton Lane, New Waltham, Grimsby, North East Lincolnshire, DN36 4PG**

**PROPOSAL: Erection of new boundary fencing, 2.4m, 2.3 and 2.2m high (amended plans 17th August 2020)**

**APPLICANT:**

Mr And Mrs Gibbins  
Daisy Dene  
Deaton Lane  
New Waltham  
DN36 4PG

**AGENT:**

Mr Dieter Nelson  
Dieter Nelson Planning Consultancy  
Unit 2 Cleethorpes Business Centre  
Jackson Place  
Wilton Road  
Humberston  
Grimsby  
DN36 4AS

**DEPOSITED: 2nd July 2020**

**ACCEPTED: 2nd July 2020**

**TARGET DATE: 27th August 2020**

**PUBLICITY EXPIRY: 11th September 2020**

**AGREED EXTENSION OF TIME DATE: 6th November 2020**

**CONSULTATION EXPIRY: 30th July 2020**

**CASE OFFICER: Richard Limmer**

**PROPOSAL**

The proposal is to replace the existing fencing along the eastern boundary of the property to a mixture of 2.2m, 2.3m and 2.4m high fencing.

This application has been brought to Planning Committee for consideration due to an objection from New Waltham Parish Council.

## **SITE**

The host property is a detached dormer bungalow located at the bottom end of the private drive Deaton Lane, which hosts a further 9 dwellings. The host property benefits from an extensive rear garden measuring approximately 105m by 14m. The proposed fencing would be along the eastern boundary of the host property but starting approximately 48m from the front boundary of the site. The proposed boundary fence therefore runs along the boundary with the neighbour 'Sunbeam'.

## **RELEVANT PLANNING HISTORY**

DM/0063/18/OUT - outline application for 2 dwellings - approved

## **RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS**

National Planning Policy Framework (February 2019)

NPPF12 - Achieving well designed places

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO5 - Development boundaries

PO22 - Good design in new developments

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

## **REPRESENTATIONS RECEIVED**

New Waltham Parish Council - objects due to the height of the fence

Drainage Officer - No comments

Highways Officer - No comments

Heritage Officer - No comments

Neighbours

9 Janton Close - Comments on the height of the proposed fence but does not object.

Sunbeam - Objects to the proposed development, the neighbour has provided very detailed points of concern along with photographs. The main points of concern are:

- The height of the proposed fence;
- Impact on their amenities due to dominance;
- Impact upon their outlook from various bedroom and living room windows;
- Location of the fence in relationship to site boundary;
- Impact upon light to side bedroom and living room windows.

## **APPRAISAL**

### Material Planning Considerations

1. The Principle of Development
2. Impact on neighbours
3. Impact on the Character of the Area

#### 1. The Principle of Development

The site is located within the development area boundary for New Waltham on the NELLP. Policy 5 of the NELLP accepts extensions and alterations to residential properties within the defined boundaries. It is therefore considered to be acceptable in principle but subject to the considerations discussed in this report below. It should be noted that a boundary fence of 2m high could be installed under Permitted Development without the need for planning permission.

It should also be noted that the proposal has been amended in order to address concerns raised by neighbours and Officers. The original scheme proposed all of the fence to be 2.4m high, this has been amended to have sections of 2.2m, 2.3m and 2.4m high fencing.

#### 2. Impact on Neighbours

Policy 5 of the NELLP requires consideration to be given to the impact on neighbouring properties residential amenities as a result of the development. The location of the proposed fencing means that the only neighbour to be affected by the proposed fencing would be Sunbeam. This neighbour has provided detailed objections to the proposed development.

The proposed 2.4m high section of fence is located adjacent to the access to Sunbeam and across the host properties garden. Given the position of this element of the fence, whilst visible, it would not unduly impact upon the neighbours residential amenities.

The 2.3m high section of fence runs for some 54m (approximately) from the access drive

into Sunbeam to just past the rear elevation of Sunbeam. Permitted Development would allow for a fence of 2m high to be erected on the boundary without the need for planning permission and so it is the additional 0.3m that is the key consideration in this instance. The main area of concern is where the proposed fence runs adjacent to the side elevation of Sunbeam, which has 3 bedroom windows and a living room window on the side elevation. The proposed 2.3m high fence would be located between 2.1m and 2.3m from this side elevation. It is noted that there is currently a fence on part the boundary of approximately 2m high. It is acknowledged that the proposed fence would change the outlook from the neighbours windows, in particular those on the side elevation. Whilst the outlook would be changed it is not considered that the increase in the height of the boundary fence would not cause an adverse impact on the enjoyment and general amenity of these rooms by reason of undue massing.

The 2.2m high section of the proposed fence is proposed to be positioned after the 2.3m section and along the boundary with the rear garden of Sunbeam. It is considered that whilst 2.2m is slightly above what is usual for rear boundary fences it would not unduly affect how the neighbours at Sunbeam would enjoy their rear garden.

It is therefore considered that the proposed boundary fencing, whilst it would be visible and would change the outlook from various aspects of Sunbeam, it is not considered that the impacts would be adverse to residential amenity. The proposal therefore accords with Policy 5 of the NELLP.

### 3. Impact on the Character of the Area

Policy 5 and 22 of the NELLP requires consideration of how proposals impact on the character of the immediate and wider area.

The proposed fence would offer no views from the public domain with Deaton Lane being a private road. There would be some limited views from Deaton Lane but these views would be minimal due to the angle of the access road to Sunbeam. It is therefore considered that the impact on the character of the area would not be detrimental in accordance with Policy 5 and 22 of the NELLP.

## CONCLUSION

In conclusion, the detailed comments and concerns raised by Sunbeam have been considered. However, it is considered that the proposed fence would not have an adverse impact on the residential amenities of the neighbouring properties, in particular Sunbeam, or the character of the area. The proposal is therefore in accordance with Policy 5 and 22 of the NELLP and is recommended for approval.

## RECOMMENDATION

### Approval with Conditions

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

The development shall be carried out in accordance with the following plans:

761-1B - Site location plan, block plan and proposed elevations

Reason

For the avoidance of doubt and in the interests of proper planning.

## **Informatives**

1 Reason for Approval

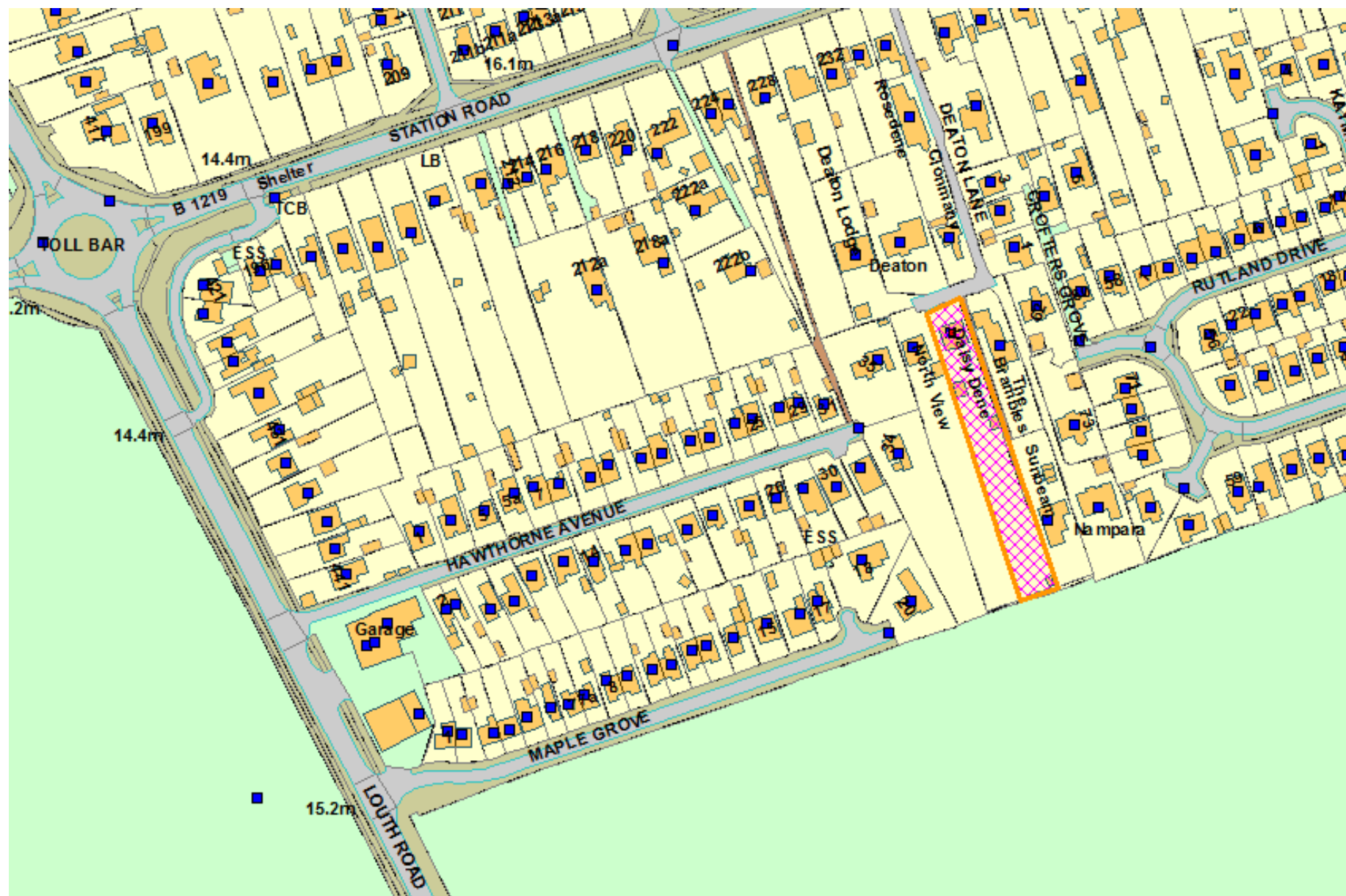
The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policy 5 and 22.

2 Added Value Statement

Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by negotiating on details of the proposed development to make it acceptable.

## DM/0506/20/FUL – DAISY DENE, DEATON LANE, NEW WALTHAM



DM/0506/20/FUL – DAISY DENE, DEATON LANE, NEW WALTHAM



Site Plan 1:200

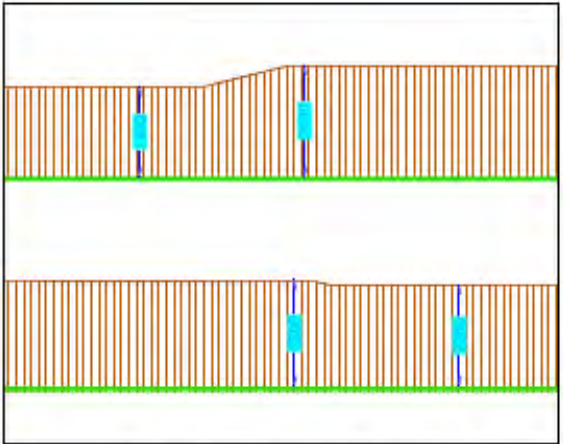
Note: Proposed fence is on existing line.



Exiting Site Plan 1:500



Site Location Plan 1:1250



Fencing Elevations Point A 1:50

<p>dieterneilson planning consultancy</p> <p>Registered Supplier of Planning Services Approved for Planning and Design</p>	<p>Planning Consultancy and Design Services for Planning and Design Services in the UK and abroad</p>	<p>Deaton Lane, New Waltham Fence Erection Planning Drawing</p>	<p>June 2020 8</p> <p>1:500</p> <p>1:1250</p> <p>761-1</p>
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## Angela Tynan (Engie)

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**From:** clerk@newwalthamparishcouncil.com  
**Sent:** 09 September 2020 13:01  
**To:** Planning - IGE (ENGIE)  
**Subject:** FW: Planning Consultation Ref: DM/0506/20/FUL  
**Attachments:** ufm2.pdf

Good Afternoon,

Further to the attached planning application, the Council have ruled that they 'object', for the reason of the fence being too high.

Kind Regards

Anneka

Anneka Ottewell-Barrett  
 Clerk to New Waltham Parish Council & R.F.O (Office Opening Hours: 9.30am – 1pm Mon -Thurs & 10am-12pm Fri)

Contact: (01472) 822821  
 New Waltham Parish Council  
 St Clements Way  
 New Waltham  
 DN36 4GU

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This email has been checked for viruses by AVG.  
<https://www.avg.com>

# Comments for Planning Application DM/0506/20/FUL

## Application Summary

Application Number: DM/0506/20/FUL

Address: Daisy Dene Deaton Lane New Waltham Grimsby North East Lincolnshire DN36 4PG

Proposal: Erection of 2.4 m high boundary fence

Case Officer: Richard Limmer

## Customer Details

Name: Mr roger breed

Address: 9 Janton Court New Waltham Grimsby

## Comment Details

Commenter Type: Parish Council

Stance: Customer made comments neither objecting to or supporting the Planning Application

Comment Reasons:

Comment: was under the impression that the maximum height allowed for boundary fencing was 2 metres

When I applied to erect a fence all be it years ago I was restricted to 2 metres

# Comments for Planning Application DM/0506/20/FUL

## Application Summary

Application Number: DM/0506/20/FUL

Address: Daisy Dene Deaton Lane New Waltham Grimsby North East Lincolnshire DN36 4PG

Proposal: Erection of 2.4 m high boundary fence

Case Officer: Richard Limmer

## Customer Details

Name: Mr Aidan Roger Brown

Address: Sunbeam Deaton Lane Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: We are residents and owners of Sunbeam, Deaton Lane and have lived here for 13 years. Over this period of time there has been an existing 1950mm fence separating our property from Daisy Dene which runs from the southern boundary to a point slightly beyond the northern elevation of our property. This fence separates us from the allotment garden shown on the plan and which already contains a number of mature trees and is therefore well screened. Part of this fence has been replaced just 2 months ago.

The 2.4m fence proposed to be erected by Mr & Mrs Gibbins would be approximately 70m in length extending the full length of our plot and beyond the northern boundary into the driveway. A second 2.4m fence at right angles to this would cross the plot of Daisy Dene and measure approximately 14m in length. The owners of Daisy Dene have recently moved a summerhouse from its original position near to the boundary fence. This has been their choice, however, if they feel that this has reduced their privacy then in our opinion there are other ways of achieving adequate screening such as strategic planting rather than erecting a 2.4m fence.

Work has already started and 3 sections of panelling measuring 3.8m in length constructed from old weatherboard have been attached to the existing fencing alongside our property to increase the height to 2.4m. Since part of the fence has recently been replaced it seems that the plan is to add further panels along the length of the existing fence. The existing fence is, at its closest, 2.34m from our living room window and is also directly outside 2 bedroom windows and the French doors to the main bedroom. The panels are of poor quality and very unsightly in appearance. We trust that subject to what we say herein such panels are only intended to be a temporary feature.

The proposed fence would, in our opinion, be detrimental to the visual appearance of the environment in general and out of character of the area due to its height, design, prominence and expanse. It would also harm the residential amenity that as close neighbours we and our predecessors have enjoyed for many years. A fence of this sort would normally be associated with

a commercial or industrial area and is not commensurate with the character of a semi-rural residential area.

The plans as submitted contain an existing site plan which does not accurately show the taper (starting 6.6m from our gateway) which widens the driveway from 2.6m to 3.07m around our gateway. According to the plans the proposed fence would narrow this to 2.6m throughout its length and shows a straight line beyond our gates which would place it on our side of the boundary. If this were the proposal it would bring the fence even closer to our living room windows.

We have an established right of way over the driveway in its present width leading to our property which provides adequate vehicular access without difficulty and any diminution in the width of the right of way would constitute a derogation of the grant of the long established right of way and our ability to properly exercise our right of way and in particular make it impossible for us to get out of our vehicles to unlock the gate and gain access to our property. Our right of way is listed at the land registry as a benefit attaching to our property and has, throughout our ownership, been enjoyed over the existing driveway and at its existing width.

To reflect our existing rights, we would not have any objections to a reasonable height fence providing it followed the existing boundary. This would respect and reflect the access and amenity enjoyed by ourselves over many years

## Angela Tynan (Engie)

---

**From:** Richard Limmer (Engie)  
**Sent:** 29 July 2020 14:03  
**To:** Planning - IGE (ENGIE)  
**Subject:** FW: Re: Daisy Dene

Hi could you add to the file please

**Richard Limmer MSc URP**  
 Major Projects Planner  
 Planning and Development Team  
 Places & Communities North – NEL  
 Tel. +44 (0) 147 232 4299  
 Mob. +44 (0) 7766923688



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[engie.co.uk](http://engie.co.uk)

New Oxford House, George Street  
 Grimsby, North East Lincolnshire, DN31 1HB

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**From:** roger brown  
**Sent:** 24 July 2020 17:34  
**To:** Richard Limmer (Engie) <Richard.Limmer@nelincs.gov.uk>  
**Subject:** FW: Re: Daisy Dene

Please find attached our comments regarding the planning application in connection with the boundary fence. We have submitted it online but apparently it has been truncated despite being less than 5000 characters.

Regards,

Roger Brown & Tina Burns

Sent from [Mail](#) for Windows 10

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**From:** [Tina Burns](#)  
**Sent:** 24 July 2020 17:13  
**To:** [Roger Brown](#)  
**Cc:** [Tina Burns](#)  
**Subject:** Re: Daisy Dene

- We are residents and owners of Sunbeam, Deaton Lane and have lived here for 13 years. Over this period of time there has been an existing 1950mm fence separating our property from Daisy Dene which runs from the southern boundary to a point slightly beyond the northern elevation of our property. This fence separates us from the allotment garden shown on the plan and which already contains a number of mature trees and is therefore well screened. Part of this fence has been replaced just 2 months ago.

- The 2.4m fence proposed to be erected by Mr & Mrs Gibbins would be approximately 70m in length extending the full length of our plot and beyond the northern boundary into the driveway. A second 2.4m fence at right angles to this would cross the plot of Daisy Dene and measure approximately 14m in length. The owners of Daisy Dene have recently moved a summerhouse from its original position near to the boundary fence. This has been their choice, however, if they feel that this has reduced their privacy then in our opinion there are other ways of achieving adequate screening such as strategic planting rather than erecting a 2.4m fence.
- Work has already started and 3 sections of panelling measuring 3.8m in length constructed from old weatherboard have been attached to the existing fencing alongside our property to increase the height to 2.4m. Since part of the fence has recently been replaced it seems that the plan is to add further panels along the length of the existing fence. The existing fence is, at its closest, 2.34m from our living room window and is also directly outside 2 bedroom windows and the French doors to the main bedroom. The panels are of poor quality and very unsightly in appearance. We trust that subject to what we say herein such panels are only intended to be a temporary feature.
- The proposed fence would, in our opinion, be detrimental to the visual appearance of the environment in general and out of character of the area due to its height, design, prominence and expanse. It would also harm the residential amenity that as close neighbours we and our predecessors have enjoyed for many years. A fence of this sort would normally be associated with a commercial or industrial area and is not commensurate with the character of a semi-rural residential area.
- The plans as submitted contain an existing site plan which does not accurately show the taper (starting 6.6m from our gateway) which widens the driveway from 2.6m to 3.07m around our gateway. According to the plans the proposed fence would narrow this to 2.6m throughout its length and shows a straight line beyond our gates which would place it on our side of the boundary. If this were the proposal it would bring the fence even closer to our living room windows.
- We have an established right of way over the driveway in its present width leading to our property which provides adequate vehicular access without difficulty and any diminution in the width of the right of way would constitute a derogation of the grant of the long established right of way and our ability to properly exercise our right of way and in particular make it impossible for us to get out of our vehicles to unlock the gate and gain access to our property. Our right of way is listed at the land registry as a benefit attaching to our property and has, throughout our ownership, been enjoyed over the existing driveway and at its existing width.
- 
- To reflect our existing rights we would not have any objections to a reasonable height fence providing it followed the existing boundary. This would respect and reflect the access and amenity enjoyed by ourselves over many years.

# Comments for Planning Application DM/0506/20/FUL

## Application Summary

Application Number: DM/0506/20/FUL

Address: Daisy Dene Deaton Lane New Waltham Grimsby North East Lincolnshire DN36 4PG

Proposal: Erection of new boundary fencing, 2.4m, 2.3 and 2.2m high (amended plans 17th August 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Aidan Brown

Address: Sunbeam Deaton Lane Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: We welcome the information that the proposed fence is on the existing line as stated as that should respect our right of way.

We do not object to the proposed sections of fencing measuring 2.4m shown on the amended plan.

We do not object to the section of fencing between the proposed 2.4m fence with gate running across the plot and the first hedge shown on the plan in green. (The hedge furthest away from our property.)

We strongly object to the section of fencing measuring 2.3m on the amended plan outside the main living accommodation of our property which comprises 3 bedrooms and the main lounge. The height of the window apertures measure 2.3m from the external ground level. This means that the proposed fence would be the same height as the windows and only 2.4m from them. This would, in our opinion, severely detract from the amenity of our property which we have enjoyed for many years and would detract from the existing character and aesthetic coherence. The established trees which we can see from our property and garden contribute greatly to our enjoyment of our property and the amenity attached there to. We feel that this section of fence, some of which was erected only 2 months ago and which most affects our enjoyment of our property should remain at the present height of 1950. The current proposal represents a compromise of a mere 10cm (4 inches) over the original plan.

Since the remaining fencing running the length of our property to the southern boundary of the plot runs behind greenhouses which we cannot see into due to the existing fence, our garden planting

and the internal covering we cannot see any justification in raising the height of this section of fence.

The current toppers erected by our neighbours without planning permission directly outside our bedroom windows have been constructed from old pieces of wood. They are disagreeable in appearance and of very poor quality. If this were to be allowed along the entire fence it would severely detract from the existing character, pleasantness and aesthetic coherence of the area. They would have a detrimental and thoroughly depressing effect including on our mental health. We would therefore like to seek clarification as to the construction, design and finish of the proposed fence to ensure that the proposals comply with paragraph 17 of the National Planning Policy Framework.



## Carol Pedersen (Engie)

---

**From:** Richard Limmer (Engie)  
**Sent:** 18 August 2020 08:10  
**To:** Planning - IGE (ENGIE)  
**Subject:** FW: Daisy Dene Amended plan

DM/0506/20/FUL

Could you add the email below as a neighbour comment from 'Sunbeam'

Thanks

R

**Richard Limmer MSc URP**  
 Major Projects Planner  
 Planning and Development Team  
 Places & Communities North – NEL  
 Tel. +44 (0) 147 232 4299  
 Mob. +44 (0) 7766923688



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---

**From:** Tina Burns  
**Sent:** 17 August 2020 21:30  
**To:** Richard Limmer (Engie) <Richard.Limmer@nelincs.gov.uk>  
**Subject:** Daisy Dene Amended plan

Good morning Richard,  
 We have submitted our response to the amended plans on the planning site and enclose photographs which we are asking are added to the file.

Many thanks,

Tina Burns and Roger Brown.



View from the living room window showing impact of proposed new fence. We have used a temporary wicker screen at the height proposed to show the impact and loss of amenity that would occur if the proposals are passed.







Sent from my iPad



## Carol Pedersen (Engie)

---

**From:** Richard Limmer (Engie)  
**Sent:** 18 August 2020 08:52  
**To:** Planning - IGE (ENGIE)  
**Subject:** FW: Daisy Dene

DM/0506/20/FUL

Morning

Could you add this to the file as well

Many Thanks

Richard

**Richard Limmer MSc URP**  
 Major Projects Planner  
 Planning and Development Team  
 Places & Communities North – NEL  
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 Mob. +44 (0) 7766923688



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 Grimsby, North East Lincolnshire, DN31 1HB

---

**From:** Tina Burns  
**Sent:** 18 August 2020 08:05  
**To:** Richard Limmer (Engie) <Richard.Limmer@nelincs.gov.uk>  
**Subject:** Daisy Dene

Good morning Richard,

Please find enclosed further photographs taken today to show the impact on the amenity of our property from the proposed new fence outside our living room window.  
 Please acknowledge receipt and add these to the file.  
 Thank you.

Kind regards,

Tina Burns & Roger Brown.



Temporary screen erected to demonstrate the height and impact on the amenity of our property.



This is what we have at present





Temporary screen erected by ourselves to left and toppers erected by our neighbours to the right showing impact that the proposed fence would have.





Back garden view from living room window showing existing amenity



Existing view with 1950 fence and hedge. The proposed new fence would obscure the lower part of the living room window only leaving us the upper panel. Our neighbours' property is approximately 70m away and totally unaffected by the proposals.

Sent from my iPad

## Angela Tynan (Engie)

---

**From:** Richard Limmer (Engie)  
**Sent:** 30 July 2020 17:58  
**To:** Planning - IGE (ENGIE)  
**Subject:** FW: Sunbeam, Deaton Lane

Could you add this to the file DM/0506/20/FUL

Cheers

Richard

**Richard Limmer MSc URP**  
 Major Projects Planner  
 Planning and Development Team  
 Places & Communities North – NEL  
 Tel. +44 (0) 147 232 4299  
 Mob. +44 (0) 7766923688



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---

**From:** Tina Burns  
**Sent:** 30 July 2020 16:10  
**To:** Richard Limmer (Engie) <Richard.Limmer@nelincs.gov.uk>  
**Subject:** Sunbeam, Deaton Lane

Good afternoon Richard,

Thank you for visiting us today to discuss the planning application submitted by our neighbours at Daisy Dene. As discussed with you our concerns essentially fall into 3 areas:

Accuracy of plans and potential restriction of the access to our property over our driveway which is a right of way established by an entry at land registry.

Loss of residential amenity due to the height, design, prominence and expanse of the proposed fence.

Restriction to natural daylight due to the proximity of the proposed fence to the windows of our living accommodation as 3 bedrooms and living room all face the fence and additionally the dining room which has no external walls and derives borrowed light in part from bedroom 2.

We enclose photographs from each of these rooms as requested.

As mentioned at the site visit we do not wish to appear unreasonable and have no objections to a fence as long as it respects our long established right of way and does not detract from the enjoyment of our property which we feel the current proposals and work already started do.

Kind regards,

Tina Burns and Roger Brown



Dining room which has borrowed light from bedroom 2 as shown





View from window of bedroom 2 showing extensions to existing fence already erected  
Which we feel are unsightly and fail to meet standard expected under paragraph 17 of National Planning Policy Framework

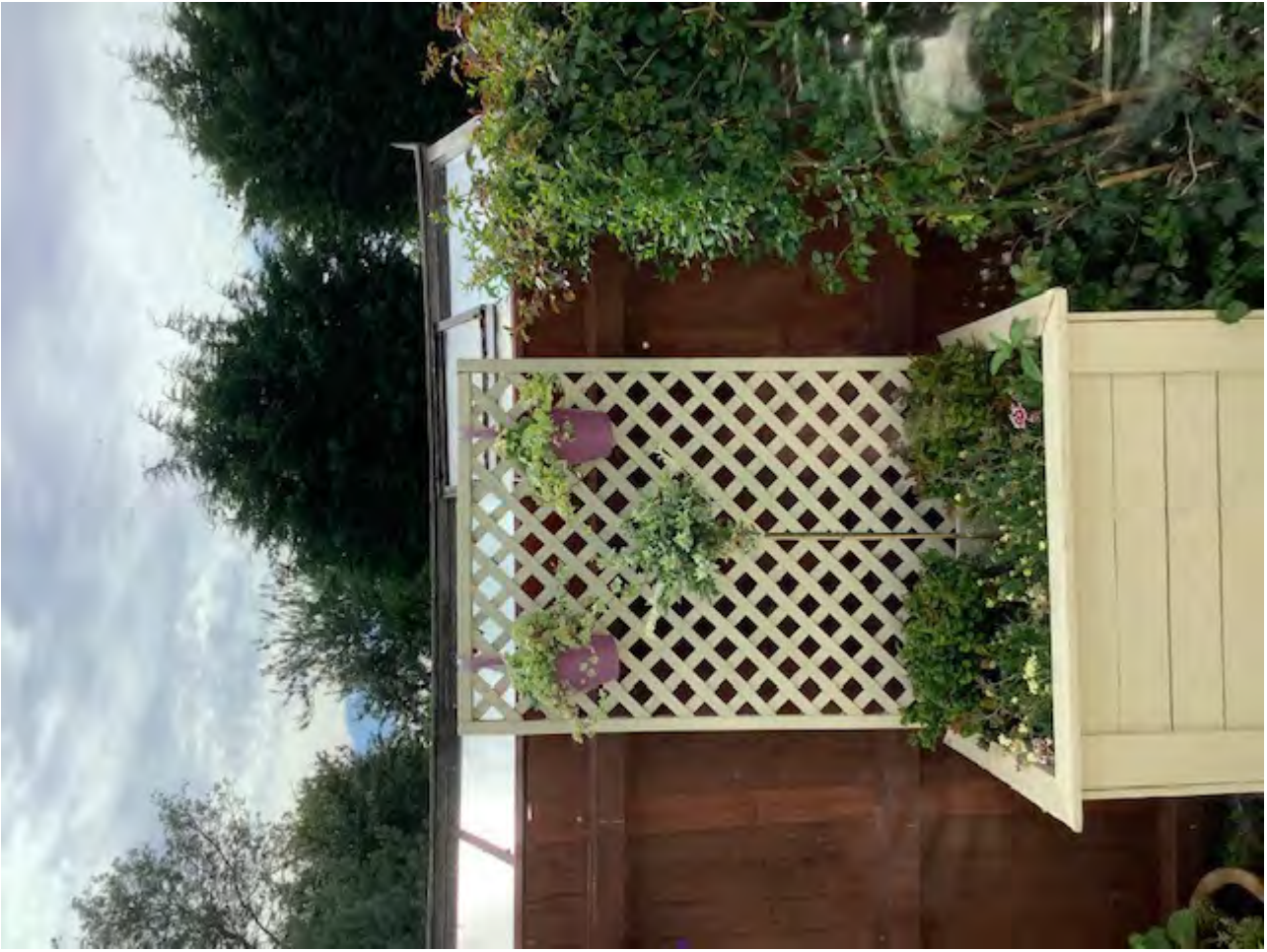


View from window of bedroom 3



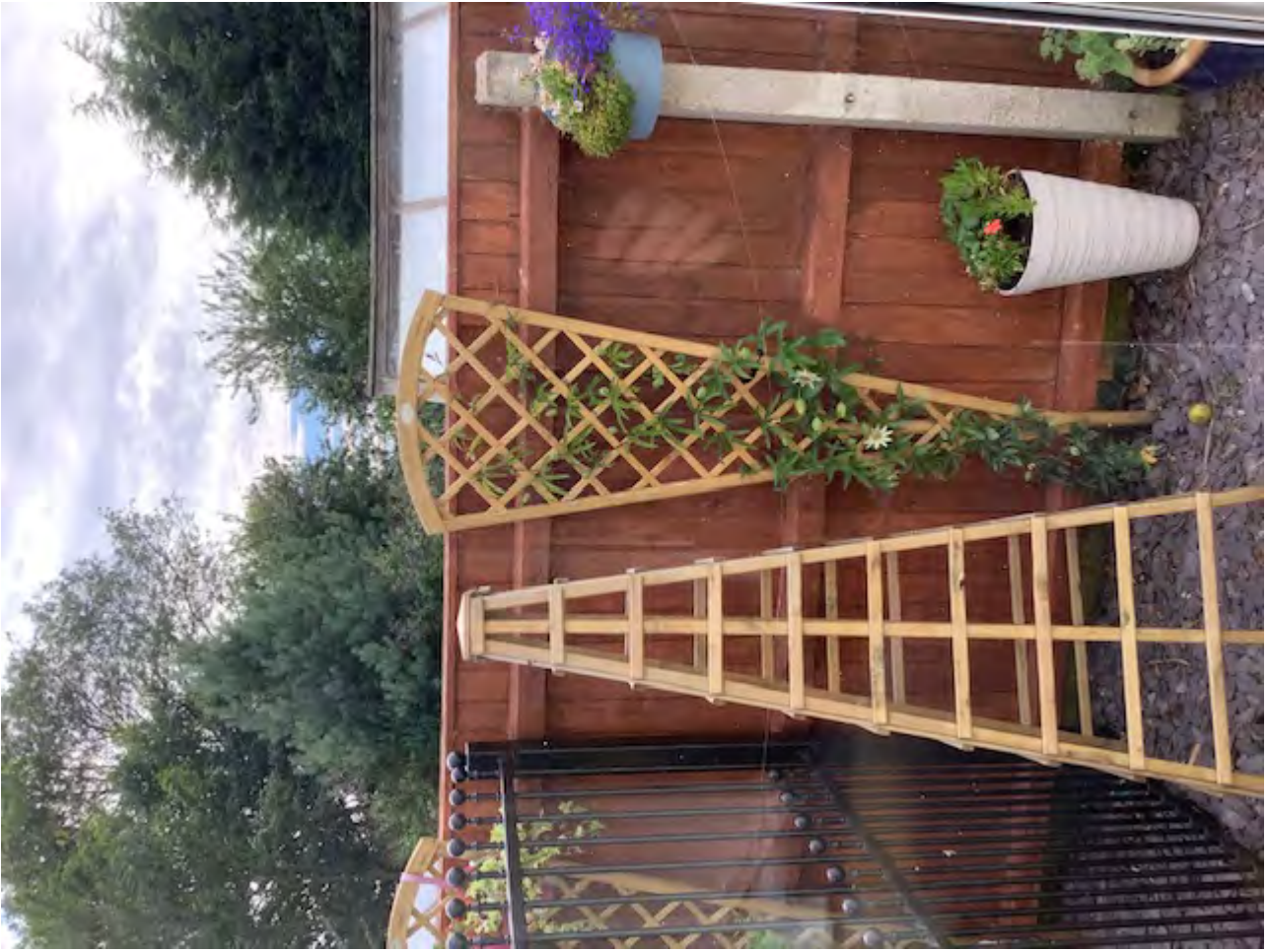


View from bedroom 1 Showing trellis erected by our neighbours



View from living room Window





View from living room window



View from bedroom 2  
Sent from my iPad

# Comments for Planning Application DM/0506/20/FUL

## Application Summary

Application Number: DM/0506/20/FUL

Address: Daisy Dene Deaton Lane New Waltham Grimsby North East Lincolnshire DN36 4PG

Proposal: Erection of new boundary fencing, 2.4m, 2.3 and 2.2m high (amended plans 17th August 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Aidan Roger Brown

Address: Sunbeam Deaton Lane Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: We welcome the information that the proposed fence is on the existing line as stated as that should respect our right of way.

We do not object to the proposed sections of fencing measuring 2.4m shown on the amended plan.

We do not object to the section of fencing between the proposed 2.4m fence with gate running across the plot and the first hedge shown on the plan in green. (The hedge furthest away from our property.)

We strongly object to the section of fencing measuring 2.3m on the amended plan outside the main living accommodation of our property which comprises 3 bedrooms and the main lounge. The height of the window apertures measure 2.3m from the external ground level. This means that the proposed fence would be the same height as the windows and only 2.4m from them. This would, in our opinion, severely detract from the amenity of our property which we have enjoyed for many years and would detract from the existing character and aesthetic coherence. The established trees which we can see from our property and garden contribute greatly to our enjoyment of our property and the amenity attached there to. We feel that this section of fence, some of which was erected only 2 months ago and which most affects our enjoyment of our property should remain at the present height of 1950. The current proposal represents a compromise of a mere 10cm (4inches) over the original plan.

Since the remaining fencing running the length of our property to the southern boundary of the plot runs behind greenhouses which we cannot see into due to the existing fence, our garden planting

and the internal covering we cannot see any justification in raising the height of this section of fence.

The current toppers erected by our neighbours without planning permission directly outside our bedroom windows have been constructed from old pieces of wood. They are disagreeable in appearance and of very poor quality. If this were to be allowed along the entire fence it would severely detract from the existing character, pleasantness and aesthetic coherence of the area. They would have a detrimental and thoroughly depressing effect including on our mental health. We would therefore like to seek clarification as to the construction, design and finish of the proposed fence to ensure that the proposals comply with paragraph 17 of the National Planning Policy Framework.

**PLANNING COMMITTEE - 4th November 2020**

**ITEM: 3**                      **RECOMMENDATION: Approval with Conditions**

**APPLICATION No: DM/0265/20/REM**

**APPLICATION TYPE: Reserved Matters**

**APPLICATION SITE: 59 Cheapside, Waltham, Grimsby, North East Lincolnshire, DN37 0HE**

**PROPOSAL: Reserved matters application following DM/0148/17/OUT (Outline application to demolish existing commercial outbuildings and erect 3 dwellings with all matters reserved) to erect 3 dwellings with associated works - additional information on Drainage September 2020**

**APPLICANT:**

Mr Herby Glover  
96 Humberston Avenue  
Humberston  
Grimsby  
DN36 4SU

**AGENT:**

Ross Davy Associates - Matt Deakins  
Pelham House  
1 Grosvenor Street  
Grimsby  
N E Lincolnshire  
DN32 0QH

**DEPOSITED: 31st March 2020**

**ACCEPTED: 5th August 2020**

**TARGET DATE: 30th September 2020**

**PUBLICITY EXPIRY: 23rd October 2020**

**AGREED EXTENSION OF TIME DATE:**

**CONSULTATION EXPIRY: 29th August 2020**

**CASE OFFICER: Richard Limmer**

**PROPOSAL**

The proposal is a reserved matters application following on from outline permission DM/0148/17/OUT for the erection of 3 bungalows within the rear garden area of 59 Cheapside, Waltham. The proposed dwellings are designed around a central courtyard area and provide two parking spaces per property. The three dwellings have been designed as single storey dwellings. There would be 10 parking spaces within the site which includes 4 parking spaces for no.59 and no.59a Cheapside. As part of the proposed development erosion control measures to the bank of Buck Beck are also proposed.



This application has been brought to Planning Committee for consideration due to the number of objections received from neighbouring properties and an objection from Waltham Parish Council.

## **SITE**

The site lies to the rear of 59 Cheapside, Waltham. This property has been converted into two dwellings with a large rear workshop building removed to allow garden and car parking. The site was cleared during the building works for the conversion of no.59 and now has the appearance of a building site. The north eastern boundary of the site has a stream, Buck Beck, running along it with a mixture of landscaping along the top of the stream bank. Beyond Buck Beck are properties in Cheesemans Close (numbers 6 and 7) and Grove Lane (number 7). To the south east of the site are neighbours in Grove Lane (numbers 1 and 3) along this boundary there is a mixture of hedge and fencing. Along the southern boundary with numbers 61 and 63 Cheapside is a 1.2m high retaining wall, as the site is lower than the neighbours with mixed landscaping above that. To the south west and north west boundaries are 2m high fences. Access to the site is taken off Cheapside to the south west of the site.

## **RELEVANT PLANNING HISTORY**

DC/772/13/WAB - Outline erect 3 dwellings - approved

DM/0148/17/OUT - Outline erect 3 dwellings - approved

DM/0545/17/FUL - Convert existing dwelling into two dwellings and demolish workshop to create garden space and parking area - approved

DM/1157/19/FUL - Variation of Condition 2 (Approved Plans) as granted on DM/0545/17/FUL (Change of use from one dwelling to two dwellings, erect two storey extension to side and rear to include creation of access, parking spaces and installation of boundary treatments (Amended Plans August 2017)) for revision to window positions to the side and materials on the extension - under consideration

DM/0735/17/FUL - Erect 3 dwellings with associated parking, landscaping etc.. - Refused and dismissed at appeal

DM/0759/19/FUL - Erect 3 dormer bungalows with associated parking etc.. - Refused and appeal pending

## **RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS**

National Planning Policy Framework (February 2019)

NPPF5 - Delivering a sufficient supply of homes

NPPF14 - Climate, flooding & coastal change

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO5 - Development boundaries

PO22 - Good design in new developments

PO33 - Flood risk

PO34 - Water management

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

## **REPRESENTATIONS RECEIVED**

Highways Officer - No objections suggest conditions for access construction details

Drainage Officer - No objections to the proposed development, detailed response provided as follows:

Comments:

The recently submitted plans to change the properties to remove the dormer from the properties has not altered the proposed surface water drainage on the site.

### **Surface Water**

The proposed surface water system uses a porous surface (permeable paving) for the access and parking area. The dwellings are then drained into Buck Beck through a piped system with an offline cellular storage tank, totalling 9m<sup>3</sup>, within the garden space of plot 2. The discharge rate has been calculated as lower than greenfield runoff rates with a maximum discharge rate of 1.3 litres per second within the lifetime of the development, compared to the current 2.3 litres per second maximum. The system is restricted to this maximum runoff rate through an orifice plate in manhole ref:SMH07. The point of discharge into Buck Beck has also been considered and is not deemed to create a detrimental impact on the integrity of Buck Beck or the flow rates within it. This proposed surface water drainage system presents a SUDs compliant scheme that would be betterment on the existing situation due to the restricted runoff rate being lower than the greenfield runoff rate. The proposal therefore does not increase the risk of flooding either on or off the site. It is therefore deemed to be acceptable.

### **Buck Beck**

The proposed development has been amended since the previous planning application,

the closest property to Buck Beck is plot 1 where the northern corner is 6m from the top of the bank. It is important to note that the 'no development within 6m of Buck Beck' position is an indicative figure only and is used to ensure that there sufficient space adjacent to the channel to operate a machine to maintain the bed and banks of the watercourse. It does not relate to the potential impacts in the structural integrity of the bank of the watercourse. As the proposed plan now shows that a 6m easement is provided this satisfies the concerns over the future maintenance of Buck Beck in this area. Furthermore, the applicant has supplied a plan detailing an access route between plots 1 and 2 to Buck Beck. The proposed measures detailed to reinforce a 10m section of Buck Beck close to the northern corner of plot 1 have been noted. The proposed works include the re-profiling and reinforcing of this short section to robustly ensure that the proposed development would not harm the structural integrity of the bank. The proposed method of reinforcement is a similar design to that installed previously at Ludgate Close/Mount Pleasant, which has been in situ for some 10 years without any obvious signs of wear. It is also important to consider the position of the proposed reinforcement in the context of the profile of Buck Beck, in this location Buck Beck flows in a relatively straight line therefore it is not an area in high risk of erosion. However, the design of the foundations of the proposed dwellings should also be considered as this could be either traditional strip foundations or piled foundations. This can reasonably be dealt with through a suitable planning condition.

#### Conclusion

It is considered that the proposed development presents a SUDs compliant surface water drainage scheme, would not increase the risk of flooding either on or off the site and would protect the structural integrity. The proposal is therefore in accordance with Policies 5 and 33 of the NELLP.

#### Recommended conditions:

- The development should be built out in accordance with the detailed drainage scheme;
- There should be no raising of ground levels within the site;
- The reinforcement works to Buck Beck should be completed prior to works commencing on the erection of the dwellings;
- Final details of the ground conditions and foundation design should be submitted to and approved by the LPA prior to development commencing;
- An access route to Buck Beck should be protected to ensure that Buck Beck can be maintained, as detailed on plan ref: RD3962-22 - Buck Beck Access Plan.

Crime Reduction Officer - No objection,

Environmental Health- Recommend conditions; hours of construction, construction method statement and contaminated land.

Heritage Officer - No comments

Waltham Parish Council - Object to the proposal due to the scale and position of the proposed development not following the outline consent



## Neighbours

### 6, 7, 8 Cheesemans Close

The above neighbouring properties have objected to the proposed development with concerns over the following aspects:

- The way in which the site has been dealt with to date by the developer and the issues this has caused;
- The proximity of the proposed development to Buck Beck;
- The lack of detail provided on the proposed erosion matting and how it may affect the integrity of the banks of Buck Beck;
- How the foundations of the proposed development may affect the integrity of the bank of Buck Beck;
- The associated flood risk if Buck Beck is compromised;
- The provision of first floor accommodation and the impact this has on neighbouring properties residential amenities including overlooking and loss of privacy;
- The lack of details for the landscaping scheme especially along the top of Buck Beck where the planting is integral to the erosion control measures proposed;
- The lack of parking provision within the site and highway safety and amenity concerns around the site access.

## **APPRAISAL**

### Planning Considerations

1. Principle of Development.
2. Impact on Neighbours.
3. Impact on the Street Scene and Character of the Area.
4. Parking & Highways.
5. Drainage.
6. Buck Beck.
7. Contamination.

#### 1. Principle of Development

The principle of residential development on this site was first established in 2013 through DC/772/13/WAB which granted outline planning permission for three dwellings. This was then resubmitted and approved under DM/0148/17/OUT. These previous outline planning

permissions both include conditions restricting the proposed dwellings to genuine single storey only. This reserved matters application is for 3 single storey dwellings and follows the outline approval DM/0148/17/OUT.

The site itself is located within the Development Area Boundary for the village in the NELLP. Policy 5 allows residential development within the defined settlement boundaries subject to the site specific impacts. These are considered below. It is therefore considered that, in principle, the proposed development accords with Policy 5 of the NELLP.

It is noted that a previous application on the site for 3 dwellings (DM/0735/17/FUL) was refused and subsequently dismissed at appeal (appeal decision attached). However, the refusal and the appeal decision were based on specific reasons that does not question the principle of development. The specific reasons were based on the impact upon Buck Beck and the subsequent potential to increase the risk of flooding away from the site. This specific matter is discussed in section 6 of this report.

## 2. Impact on Neighbours

The proposed development has been set out along the theme set out in the outline consent, around a central courtyard. The proposal remains 3 genuine single storey bungalows with no accommodation at first floor level.

The ground floor windows and the dwellings themselves have been positioned and designed in a way to ensure that there would not be any undue impact upon the neighbouring properties residential amenities. The dwellings have all been positioned within the site so that good separation distances are achieved between them and the neighbouring dwellings so there would be no adverse massing or dominance or overlooking impacts. There will be no loss of privacy. The proposed development therefore accords with Policy 5 of the NELLP in terms of residential amenity.

## 3. Impact on the Street Scene and Character of the Area

The proposed dwellings are located to the rear of the host property and a reasonable distance from Cheapside itself. There is a gap between no.59 the host property and the neighbour no.61 where the access to the proposed dwellings is proposed. This gap will provide a limited view to the proposed dwellings but due to the built up nature of the surrounding area this would be the only main view from a public area. The proposed dwellings are of a reasonable design akin to others within the wider street scene. They are of a simple brick construction with a tiled pitched roof.

Given the position of the site and design of the proposed dwellings it is considered that there would not be a detrimental impact on the character and appearance of the street scene or wider area in accordance with Policy 5 and 22 of the NELLP.

#### 4. Parking and Highways

The proposed development has attracted concerns from neighbours regarding parking and access to the site. The access to the site will utilise the existing access to no.59. The proposed access road is 5m wide which allows for cars to pass when entering and leaving the site.

The Highways Officer has not objected to the scheme and recommended conditions for details of the construction of the access and a construction management plan. It is considered that the proposed scheme would not have a detrimental impact on highway safety and fulfils what was suggested at the outline stage.

Neighbours have also expressed concerns that the proposed development would lead to increased parking on Cheapside. The indicative layout shows two parking spaces per dwelling which is acceptable. It must also be acknowledged that the site has the outline planning permission for 3 dwellings at the site previously.

It is considered that the proposed development would not result in a detrimental impact on highways safety or parking within the local area. It is therefore considered that the proposal accords with Policy 5 and 38 of the NELLP.

#### 5. Drainage

The proposed development sits on the edge of Buck Beck which is a key part of the areas drainage infrastructure. The site, although directly adjacent to Buck Beck, is within flood zone 1 (low risk).

The surface water from the site has been considered by the Drainage Officer and it has been confirmed that the proposed system is acceptable. The proposed surface water drainage system restricts the run off rate from the site to 1.3 litres per second which is less than 'greenfield' rates, this is an improvement from the run off from the site as it stands today. This will ensure that the runoff into Buck Beck is restricted to an acceptable level so as not to increase the risk of flooding away from the site. This accords with Policies 5 and 33 of the NELLP.

Foul water would be sent into the existing foul sewer that runs through the site. This is the preferred and acceptable approach to deal with foul water.

#### 6. Buck Beck

The north eastern boundary of the site is defined by Buck Beck, with neighbouring properties in Cheesemans Close beyond. The channel of Buck Beck in this location is approximately 2.5m deep (from the top of the bank to the bed of the stream) with the top of the channel being approximately 3m wide and the bed of the stream being approximately 1.2m wide. The channel meanders along the site boundary but maintains a roughly consistent profile. Along the top of the bank, within the site, is a mixture of

landscaping which includes a range of trees. These trees help to maintain the structure of the bank. The host site and neighbouring properties have used a range of ad-hoc erosion control measures including car tyres and scaffold boards.

A previous planning application on the site was dismissed at appeal with the Planning Inspector citing concerns over the confidence in the then proposed erosion control measures being suitable in the short and long term, the landscaping details on the bank and the proposed foundation details close to the bank.

To address the concerns raised by the Planning Inspector the applicant has amended the scheme in the following way;

- The proposed dwellings have been moved away from the top of the bank and are now at least 6m away (this is the back corner of plot 1);
- Foundation details have been provided (plan ref: RD3962-25) which show the loading of the foundations and how this does not affect Buck Beck;
- The number of trees along the top of the bank to be removed has been reduced.
- A design note for the proposed erosion control works has been provided, this details the long term suitability of the scheme.

These proposed measures have been considered by the Drainage Engineers, who in turn have confirmed that they have no objections to the proposed scheme. This is subject to conditions that require the completion of the erosion control measures prior to the works on the dwellings starting.

Having regard to the above it is considered that notwithstanding the recent refusal of application DM/0759/19/FUL (which included erosion and drainage concerns) and the appeal decision the proposed development has responded to these concerns and would not increase the risk of flooding either on or around the site. This is in accordance with Policies 5 and 33 of the NELLP. However conditions are recommended to ensure that the details are secured.

## 7. Contamination

The former workshop on the rear of no.59 Cheapside has been removed and as a result of those works an extensive remediation plan for the decontamination of the site was undertaken. Contamination included asbestos from the demolition of the building. Remediation included the stripping of topsoil across the site. Following testing the site is considered to be acceptable for development. However the Environmental Health Officer has requested a condition relating to any unexpected contamination being found during construction having to be reported to the Local Authority and a scheme for remediation to be implemented. This is considered to be necessary in case anything unexpected is found. With the inclusion of this condition the scheme is considered to be acceptable and in accordance with Policy 5 of the NELLP.

## **CONCLUSION**

In conclusion, it is considered that the proposed development would not unduly harm the residential amenities of the neighbouring properties, the character and appearance of the area and would not increase the risk of flooding or adversely impact on Buck Beck. The proposal therefore accords with Policies 5, 22 and 33 of the NELLP subject to a number of safeguarding conditions. The application is therefore recommended for approval.

## **RECOMMENDATION**

### **Approval with Conditions**

#### **(1) Condition**

The development shall be carried out in accordance with the following plans:

RD3962-01D Existing site layout  
RD3962-17 Proposed site layout  
RD3962-21A Layout and Cross Section  
RD3962-18 Plot 1 Plans and elevations  
RD3962-19 Plot 2 Plans and elevations  
RD3962-20 Plot 3 Plans and elevations  
RD3962-07A Site location plan  
RD3962-23 Tree protection  
RD3962-22 Proposed Access Plan  
RD3962-25 Proposed foundations  
1115-1163-CIV-30-P2  
1115-1163-CIV-40A Access construction details  
Cross Section erosion detail plan TR20-3317 RSS

#### **Reason**

For the avoidance of doubt and in the interests of proper planning.

#### **(2) Condition**

Development shall be built out in accordance with the Materials Schedule (dated 31st March 2020) unless otherwise agreed in writing by the Local Planning Authority.

#### **Reason**

To ensure the development has an acceptable external appearance and is in keeping with the visual amenity and character of the area in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(3) Condition

The development shall be built out in accordance with the surface water details on plan ref:1115-1163-CIV-10 (rev P10) which shall be fully implemented prior to the occupation of any dwelling.

Reason

In the interests of reducing flood risk in accordance with Policy 33 of the North East Lincolnshire Local Plan 2013-2032.

(4) Condition

Prior to any construction works or ground works for the construction of the hereby approved dwellings the erosion control scheme for the bank of Buck Beck, as detailed on plan ref: RD3962-17 and TR20-3317\_RSS - V1 (reinforced soil slope) including the landscape planting, shall be fully completed and agreed in writing that it has been so with the Local Planning Authority.

Reason

In the interests of flood risk and erosion control in accordance with Policies 5 and 33 of the North East Lincolnshire Local Plan 2013-2032.

(5) Condition

The measures detailed in the Construction Management Plan (dated 31st March 2020) shall be adhered to at all times during the construction of the development.

Reason

In the interests of highway safety and to protect the residential amenities of the neighbouring properties in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2018 (adopted 2018).

(6) Condition

Notwithstanding the Town and Country Planning (General Permitted Development) Order 2015 (or any statutory amendment thereto), no development under Schedule 2 Part 1, Class A, B, C, E shall be permitted within the curtilage of any dwelling.

Reason

To protect residential amenity and the visual character of the area in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(7) Condition

Access to Buck Beck, as shown on plan ref: RD:3962-22, shall be provided at the request of the Local Planning Authority in order to do maintenance and repair work to Buck Beck.

Reason

In the interests of reducing flood risk in accordance with Policy 33 of the North East Lincolnshire Local Plan 2013-2032.

(8) Condition

Prior to any soils or material being brought onto the site details to verify that it is fit for use shall be submitted to and agreed in writing by the Local Planning Authority. All materials used shall be in accordance with the details approved.

Reason

In the interests of health and safety in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(9) Condition

If during redevelopment contamination not previously considered is identified, then the Local Planning Authority shall be notified immediately and no further work shall be carried out until a method statement detailing a scheme for dealing with the suspect contamination has been submitted to and agreed in writing with the Local Planning Authority. All remediation shall be undertaken in accordance with the details approved.

Reason

To ensure that any previously unconsidered contamination is dealt with appropriately in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(10) Condition

The development shall be built out in accordance with the Water Use Calculations (dated March 2020), unless otherwise approved in writing with the Local Planning Authority.

Reason

In the interests of water use in accordance with Policy 34 of the North East Lincolnshire Local Plan 2013-2032.

(11) Condition

The scheme of landscaping and tree planting shown on drawing no.RD3962-17 shall be completed within a period of 12 months shall be adequately maintained for 5 years, beginning with the date of completion of the scheme and during that period all losses shall be replaced during the next planting season.

Reason

To ensure a satisfactory appearance and setting for the development and continued maintenance of the approved landscaping in the interests of local amenity in accordance

with Policy 5 and 42 of the North East Lincolnshire Local Plan 2013-2032.

(12) Condition

The development shall then be built out in accordance with the foundation details on plan ref: RD3962-25 unless otherwise approved in writing by the Local Planning Authority

Reason

To protect the integrity of Buck Beck in accordance with Policies 5 and 33 of the North East Lincolnshire Local Plan 2013-2032.

## **Informatives**

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the area character or residential amenity and is acceptable in drainage terms and under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policies 5, 22, 33 and 34.

2 Added Value Statement

Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by finalising drainage and construction details.

3 Informative

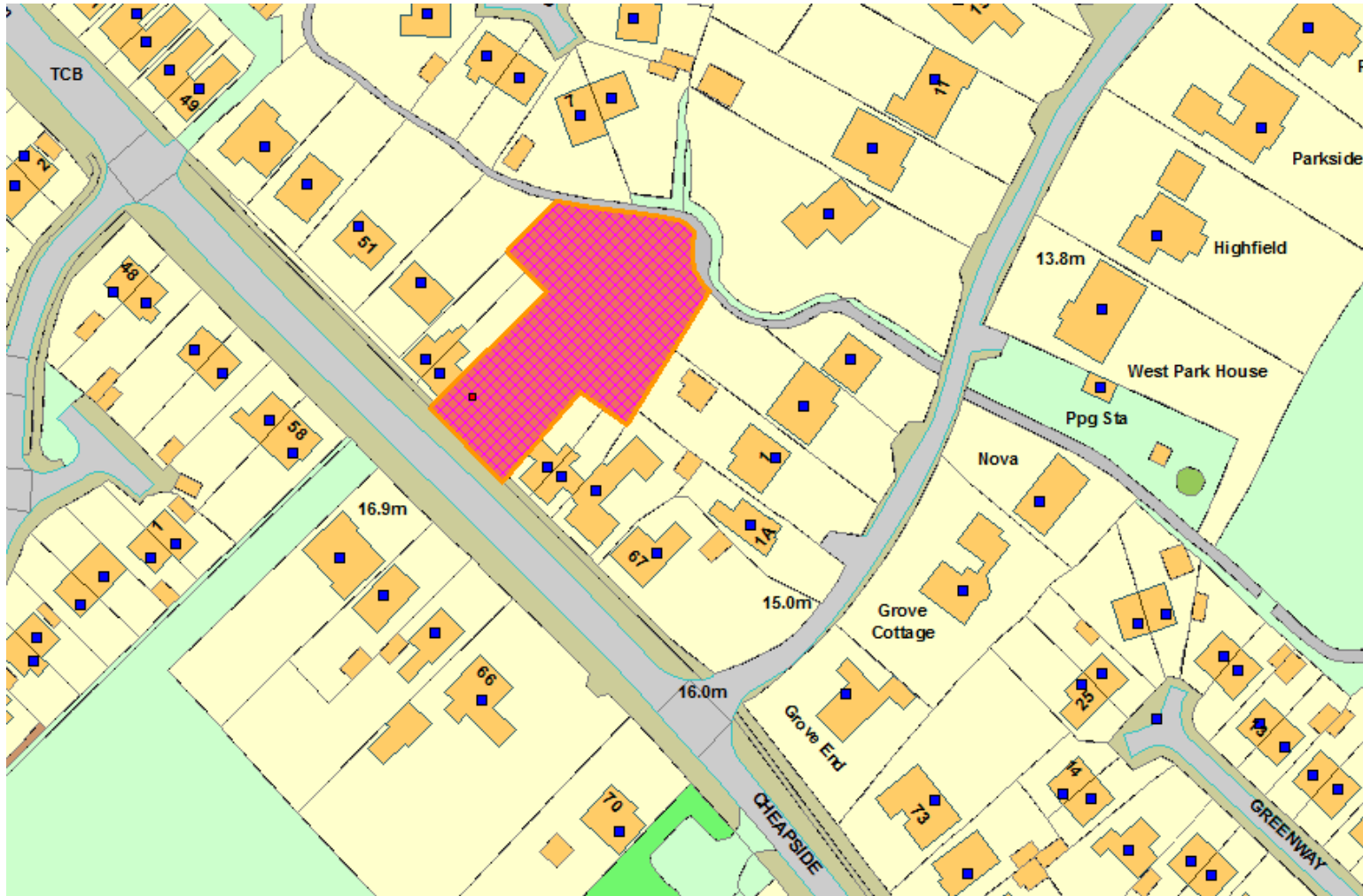
Please note that at least six months in advance of work commencing on site you are required to contact the Highway Management Team with respect to the formation of a vehicular access within the existing highway. (Tel: 01472 324431)

4 Informative

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 325959).



## DM/0265/20/REM – 59 CHEAPSIDE, WALTHAM





- i) Planning Application Reference: DM/0265/20/REM Proposal: Reserved matters application following DM/0148/17/OUT (Outline application to demolish existing commercial outbuildings and erect 3 dwellings with all matters reserved) to erect 3 dwellings with associated works Location: 59 Cheapside Waltham Grimsby North East Lincolnshire

<http://planninganddevelopment.nelincs.gov.uk/online-applications/PLAN/DM/0265/20>

*Standing orders were suspended to permit a member of the public to address the Parish Council with concerns over the stability of the banks of Buck Beck and the risk of flooding. Meeting reconvened.*

**Waltham Parish Council recommends refusal of this application on grounds that there is insufficient information provided regarding drainage.**

## Waltham Parish Council Comments – Tuesday 29<sup>th</sup> September 2020

Planning Application Reference: [DM/0265/20/REM](#) Proposal: Reserved matters application following DM/0148/17/OUT (Outline application to demolish existing commercial outbuildings and erect 3 dwellings with all matters reserved) to erect 3 dwellings with associated works - additional information on Drainage September 2020 Location: 59 Cheapside Waltham Grimsby North East Lincolnshire

**Waltham Parish Council recommends refusal of this application on the grounds that the Parish Council has reservations about the size and position of plots not being consistent with the original permission.**

# Comments for Planning Application DM/0265/20/REM

## Application Summary

Application Number: DM/0265/20/REM

Address: 59 Cheapside Waltham Grimsby North East Lincolnshire DN37 0HE

Proposal: Reserved matters application following DM/0148/17/OUT (Outline application to demolish existing commercial outbuildings and erect 3 dwellings with all matters reserved) to erect 3 dwellings with associated works

Case Officer: Richard Limmer

## Customer Details

Name: Miss Hannah Lucas

Address: 6 Cheeseman's Close Waltham

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:Comment: I strongly object to this application.

I object to this planning application because most importantly it does not include any documents detailing specific and adequate provision of drainage for this site.

I object because the planned remodelling of the bank is not site specific and does not detail how it will integrate with the existing bank to maintain its strength and integrity. The risk of our homes being flooded again is a very real threat.

I object because the site layout is identical to the planning application refused 22 July 2020 which had problems associated to the actual size of Plot 1 and its proximity to the beck. Plot 1 remains small, is only 90cm from the fence behind, has a tiny garden (and after reorganisation of the rooms now lacks space for a table at which to sit and eat).

I object because the documents presented are part of the refused planning application (22.07.20) and hence still present the same problems and unaddressed concerns which have been repeatedly expressed.

I object because the footprint is retained from the refused planning application (DM/0759/19/FUL) - meaning large bungalows with small gardens. The bungalow on Plot 1 has been pushed right back from its position on DM/0148/17/OUT to the fence line of 57 Cheapside.

I object because this application is based on the footprint of the one refused (22.07.20) and

although the dormers are omitted from the drawings this offers no assurance that they will not pop up in the future (once the homes are occupied).

I object because I frequently witness Buck Beck in spate at this small section in Waltham and I know that these homes - especially Plot 1 - are positioned too close to the bank.

I object because the Application Form states clearly that the reason for the new layout is to achieve larger gardens - which is simply not true. The outline planning permission for this site, which was agreed upon, shows: three single storey properties; each having a reasonably sized garden (previous layouts were refused).

In DM/0148/17/OUT Layout and Visuals 006.03.002.A the bungalows are all set back from the banks of the beck; the trees are all retained; additional trees have been planted to the west of the site; and there is no overlooking of neighbours. DM/0265/20REM does not support these aspects.

I object because this application shows proposed dwellings which were designed for an application as dormer bungalows (DM/0759/19/FUL) and not specifically designed as low level bungalows.

I object because if a planning development is to take on such drastic changes from DM/0148/17/OUT to DN/0265/20/REM ie. size of the footprint, height of the pitch of the roofs, repositioning the properties, repositioning the parking spaces (plot 3), etc. then it should surely be submitted as a new application.

The details of the reserved matters application must be in line with the outline approval, including any conditions attached to the permission. It may be necessary to reapply for outline or full planning permission if the proposals have changed in any way.

I respectfully ask that this application be refused.

Hannah Lucas

Dear Richard Limmer

I would like to submit these comments in relation the Planning Application DM/0265/20/REM please.

This outline is supposedly based on the original application made on 10<sup>th</sup> February 2017, DM/0148/17/OUT, that was granted outline consent, but is in fact totally different to that actual application. Appendix A and C show 2 separate lists of the documents submitted by the developer. In Appendix B and D these documents have then been compared to the documents submitted for application DM/0759/19/FUL which was recently refused. The plans for DM/0265/20/REM are almost identical in every respect to those from the application refused in July 2020. Quite simply the rooms in the roof (from DM/0759/19/FUL) have been omitted and the ground floors have been reconfigured by removing the dining room and having smaller rooms.

On 8<sup>th</sup> January 2020 Waltham Parish Council again **recommended refusal of the application DM/0759/19/FUL on grounds that there is insufficient information and detail provided regarding bank reinforcement for this development site to allay fears over potential bank destabilisation arising from excavation works. Close proximity of the development nearest to the Buck Beck, which is a public drain, will further affect bank stability....** these concerns still exist.

On 1<sup>st</sup> April 2020 Waltham Parish Council **recommended the refusal of the application DM/0759/19/FUL on the grounds that there is still concern over the proximity to the beck and the potential for flooding. It is noted that a site visit by NELC Planning Committee has been deferred and the Parish Council feel that further consultation following the site visit is required.** With the apparent similarities to the refused application, these concerns still exist. A physical/virtual site visit from the perspective of Cheeseman's Close residents has not yet taken place.

### **Chronology of Site Plans for 59 Cheapside**

The chronology of the site plans for 59 Cheapside is important in considering this application. Figure 1.1 shows **Site plan A** which was refused by Waltham Parish Council (Ref 1.1) because it was felt that the site would support 3 smaller single storey properties, but not the size indicated here having been on site.

The Parish Council felt in principal that the site would support three smaller single storey properties, but not properties of the size indicated having been on site.

Ref 1.1 DC/772/13/WAB Waltham Parish Council Comments; date 5<sup>th</sup> November 2013; site visit 6<sup>th</sup> November 2013; attached to planning portal 8<sup>th</sup> November 2013.

Identical sections of the different site plans have been copied from the appropriate documents for comparison here (ie same size and scale). Figure 1.2 shows **Site plan B** which was submitted one month later and this amended site plan was the site plan which was accepted.





Fig 1.1 DC/772/13/WAB A3 006.03.002

(Dated Oct 2013) Planning Portal – 3rd November 2013

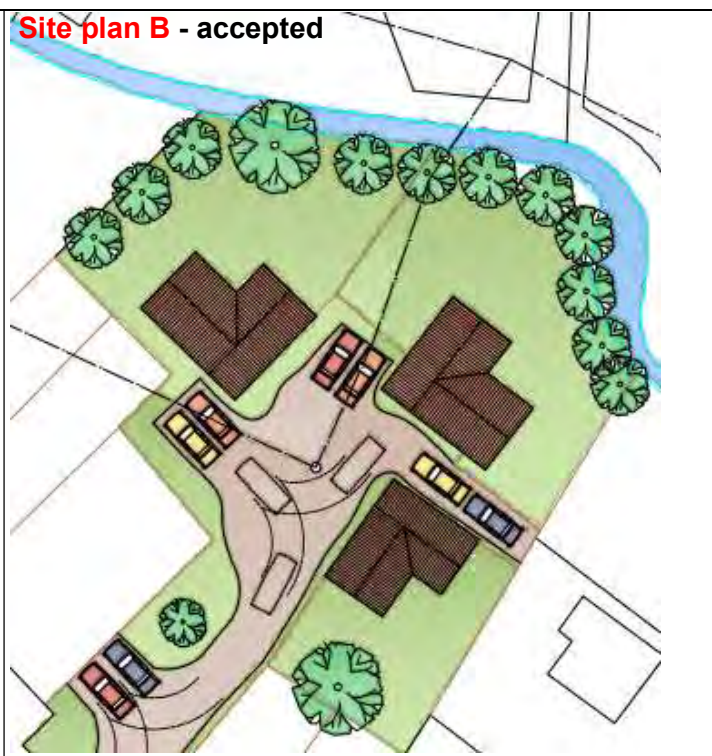


Fig 1.2 DC/772/13/WAB 006.03.002.A

(Dated Nov 2013) Planning Portal 13<sup>th</sup> November 2013

This comparison shows that the 3 single storey dwellings have been reduced in size in **Site plan B** and are smaller than **Site plan A**. Each dwelling has a reasonably sized garden. They are set back from the beck. The trees are all retained and additional trees have been planted to the west of the site. There is no overlooking of neighbours. The position of the dwellings away from the beck retain amenity value of Cheeseman's residents.

A drawing was produced by Dieter Nelson at the time which illustrated 2 low-level, single-storey bungalows but the third bungalow had dormers. Waltham Parish Council challenged this illustration at the time. The response they were given was that this drawing was purely indicative. Waltham Parish Council sought to include the phrase '**genuine single storey**'. Higher dwellings were considered not to have such a low impact therefore a condition to '**ensure the dwellings are limited to single storey**' and '**permitted development rights removed for dormers and roof lights so that there is control in the future**' was included.

DM/0148/17/OUT Minutes of Planning Committee 26.04.17 (21.02.17 Planning Portal Date 24.05.17)

DM/0148/17/OUT Notice of Decision 28.04.17 (Planning Portal 28.04.17)

These two documents both contain Condition 4 which reads: **The hereby approved dwellings shall be single-storey bungalows only with no rooms or useable space within the roof**. Have these dwellings been designed with useable space or no useable space in the roof? The description included in DM/0148/17/OUT says **low level bungalows**. How can we be sure that dormers will not eventually appear considering the similarities in design to DM/0759/19/FUL?

The layout of **Site plan B** Figure 1.3 was carried forward to the next application DM/0148/17/OUT and resubmitted in February 2017 - the time having expired on that application. This application went to Appeal and was again refused upon drainage without other aspects being further investigated. An application for dormer bungalows (DM/0759/19/FUL) was then submitted and refused because dormers were not agreed to and drainage was unsatisfactory.



Ref 1.2 DM/0265/20/OUT Application Form Section 7 Supporting Information; date stamped 25.03.2020; attached to planning portal 31 March 2020

By comparing the site plans of DM/0148/17/OUT and DM/0265/20/REM, as shown below, it is clear that larger gardens have not been achieved. It appears that we are reverting back to **Site plan A** with much larger single-storey properties (one reason for refusal of the application at the time) which are unsuitable to this site.



Fig 1.3 DM/0148/17/OUT Layout and Visuals 006.03.002.A  
(dated Nov 2013 - identical to DM/772/13/WAB) Portal 10.02.17

Fig 1.4 DM/0265/20/REM following DM/0148/17/OUT Proposed  
Site Plan RD:3962-17 (dated Mar 20) Planning Portal 31.03.20

DM/0265/20/REM should resemble DM/0148/17/OUT. If a planning development is to take on such drastic changes such we see here ie changing the size of each plot, the size of the footprint of each bungalow, the height of the pitch of the roofs, repositioning of the properties within the site, new parking layout, changes to the amenity values to neighbours etc. then it should surely be entered as a new application.

**The details of the reserved matters application must be in line with the outline approval, including any conditions attached to the permission. It may be necessary to reapply for outline or full planning permission if the proposals have changed in any way.**

Figure 3: Reserved matters in planning permissions.

The proposed dwellings in **Site plan C** DM/0265/20/REM are not in line with those in **Site plan B** DM/0148/17/OUT. The dwellings in DM/0265/20/REM were initially designed as dormer bungalows and not designed specifically as low-level bungalows. How can we be sure that dormers will not eventually appear? The

homes on this application have the same footprint, external design and dimensions as the twice refused plans. These designs have been regurgitated. This design process appears to be principally concerned with increasing the size of the dwellings that were - after much consultation - agreed to when DC/772/13/WAB and DM/0148/17/OUT were granted. The conditions of these decisions should also be adhered to.

As mentioned at the beginning - quite simply the rooms in the roof (from DM/0759/19/FUL) have been omitted and the ground floors have been reconfigured by removing the dining room and having smaller rooms (the property on Plot 1 seemingly having no space for a table at which to eat). As some councillors who have visited the site have stated – Plot 1 seems very very small. It is still very close to Buck Beck and very close to homes on the other opposite bank. The amenity of the neighbours is being compromised. It is also questionable whether a larger garden (as stated on the application form) has been actually achieved here.

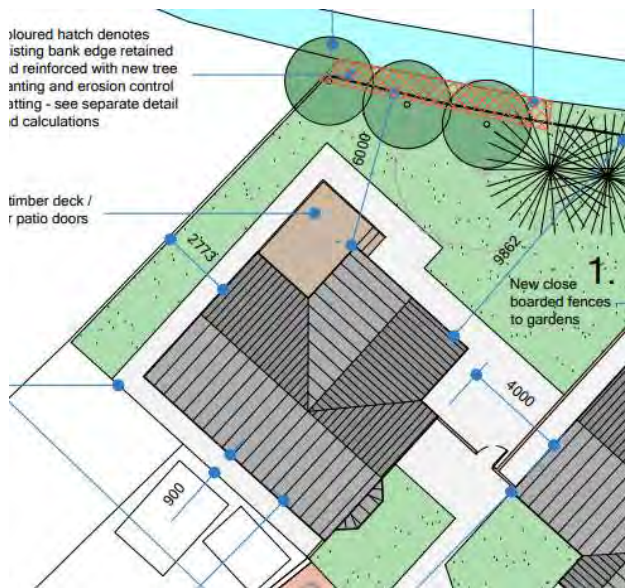


Figure 1.5 Plot 1 from the Proposed Site Plan DM/0265/20/REM: planning portal date 31 March 2020 –measurements shown are identical to the previous (and refused) application DM/0759/19/FUL.

The space between the bungalow and the fence is only 900 (90cm) and 2m 77cm at the side. As Stephen Boyd points out in his comments it appears that the bank is to be realigned to achieve 6000 – 6m from the Buck Beck.

There are still numerous issues relating to erosion control (and the treatment of the banks) that have not yet been satisfactorily explained. The data provided on the construction of the reinforced slope does not answer the questions regarding the problems that its construction throws up. We see how frequently the beck rises here. Our homes are already under threat of flooding each time the beck rises in spate.

We have the added worry of wrong decisions being made on this site causing bank instability and collapse. The flooding resulting from that would be far worse for us in Cheeseman's Close – some of you may have witnessed the floods here in 2007 and 2014. These concerns have been echoed since 2013.

I feel very strongly that the details of any planning applications at 59 Cheapside are scrutinised partly for the safety of our homes in Cheeseman's Close from the threat of potential flooding also to ensure the integrity of Buck Beck is not compromised but addition we have been on the receiving end of the developer's inappropriate actions which have resulted in HSE becoming involved and several Breach of Condition notices being served.

I respectfully request refusal of this application.

Hannah Lucas



TABLE A SHOWING THE DOCUMENTS WHICH APPEARED ON THE PLANNING PORTAL 31 MARCH 2020



















<input type="checkbox"/>	04 Aug 2020	Plans & Elevations- Proposed	PROPOSED PLANS AND ELEVATIONS - PLOT 1	
<input type="checkbox"/>	31 Mar 2020	Application Form - No Details	APPLICATION FORM	
<input type="checkbox"/>	31 Mar 2020	Plans & Elevations- Proposed	PROPOSED PLANS AND ELEVATIONS - PLOT 2	
<input type="checkbox"/>	31 Mar 2020	Plans & Elevations- Proposed	PROPOSED PLANS AND ELEVATIONS - PLOT 3	
<input type="checkbox"/>	31 Mar 2020	Proposed Plans	PROPOSED SITE CROSS SECTIONS	
<input type="checkbox"/>	31 Mar 2020	Plans - General	PROPOSED ACCESS PLAN	
<input type="checkbox"/>	31 Mar 2020	Plans - General	TREE PROTECTION PLAN	
<input type="checkbox"/>	31 Mar 2020	Supporting Documents	WATER USE CALCULATOR	
<input type="checkbox"/>	31 Mar 2020	Supporting Documents	CONSTRUCTION MANAGEMENT STATEMENT	
<input type="checkbox"/>	31 Mar 2020	Supporting Documents	MATERIALS SCHEDULE	
<input type="checkbox"/>	31 Mar 2020	Plans - General	REINFORCED SOIL SLOPE	
<input type="checkbox"/>	31 Mar 2020	Supporting Documents	OMB A	
<input type="checkbox"/>	31 Mar 2020	Supporting Documents	OMB B	
<input type="checkbox"/>	31 Mar 2020	Supporting Documents	OMB C	
<input type="checkbox"/>	31 Mar 2020	Supporting Documents	OMB RU	
<input type="checkbox"/>	31 Mar 2020	Supporting Documents	QUANTITIES	
<input type="checkbox"/>	31 Mar 2020	Site Location Plan	SITE LOCATION PLAN	
<input type="checkbox"/>	31 Mar 2020	Block Plan	PROPOSED SITE PLAN	
<input type="checkbox"/>	31 Mar 2020	Existing Plans	EXISTING SITE PLAN	

TABLE A THE DOCUMENTS WHICH APPEARED ON THE PLANNING PORTAL 31 MARCH 2020

New Application Document <b>DM / 0148 / 17 / OUT (28/04/2017)</b> <b>Validated <u>Wed 05 Aug 2020</u></b> Reference <b>DM / 0265 / 20 / REM</b>			Previous Application <b>DM / 0759 / 19 / FUL</b> <b>Validated Tue 20 Aug 2019</b> <b>REFUSED: 23 JULY 2020</b> Reference <b>DM / 0759 / 19 / FUL</b>			COMPARISON
Document Description	Date published on NELC Planning Portal	Document Dated	Document Description	Date published on NELC Planning Portal	Document Dated	same & change Dormers & roof windows removed from all documents.
Proposed Plans & Elevations <u>Plot 1</u> <b>RD 3962-18</b>	04.08.20	March 2020	Proposed Plans & Elevations <u>Plot 1</u> <b>RD 3962-03 E</b>	03 Dec 19	June 2017	All measurements on the 2 documents are identical. * 3 double bedrooms replaced with 1 double bed & 1 single bed * Dining room removed - no dining room or dining/kitchen table in the property.
Application Form Application for approval of reserved matters following outline approval	31 Mar 20	28/04/2017	Application Form			Easting changed from 526244 to 526273 Northing changed from 403505 to 403525 Reason for any changes to the original drawings: <u>Different layout to outline approval to achieve larger garden areas</u>
Proposed Plans & Elevations <u>Plot 2</u> <b>RD 3962-19</b>	31 Mar 20	March 2020	Proposed Plans & Elevations <u>Plot 2</u> <b>RD 3962-04 E</b>	03 Dec 19	June 2017	All measurements on the 2 documents are identical. * 3 double bedrooms replaced with 2 double bedrooms * Dining room removed - no dining room or dining/kitchen table in the property.

Proposed Plans & Elevations Plot 3  <b>RD 3962-20</b>	31 Mar 20	March 2020	Proposed Plans & Elevations Plot 3  <b>RD 3962-05 B</b>	03 Dec 19	June 2017	All measurements on the 2 documents are identical.  * 3 double bedrooms replaced with 2 double bedrooms  * Dining room removed - no dining room or dining/kitchen table in the property.
Proposed Site Cross Sections <b>RD 3962-21</b>  (which also refers to RD 3962-02)	31 Mar 20	March 2020	Proposed Site Cross Sections <b>RD 3962-06 D</b>  (which also refers to RD 3962-02)	03 Dec 19	June 2017	Identical
Proposed Access Plan  <b>RD 3962-22</b>	31 Mar 20	March 2020	Plan to dyke access  <b>RD3962-16</b>	06 Mar 20	February 2020	Identical
Tree protection plan  <b>RD 3962-23</b>	31 Mar 20	March 2020	Tree protection plan  <b>RD 3962 09 B</b>	03 Dec 2019	June 2017	Identical
Water use calculator	31 Mar 20	<b>25/02/20</b>	Water use calculator	06 Mar 20	<b>25/02/20</b>	Identical No change despite different number of bathrooms
Construction management statement  <b>RD 3962</b>	31 Mar 20	25/10/18	Construction management plan  <b>RD 3962</b>	06 Mar 20	No date	Identical

Materials <b>Schedule</b>  <b>RD 3962</b>	31 Mar 20	No date	Materials <b>statement</b>  <b>RD 3962</b>	06 Mar 20	No date	Identical
Reinforced soil slope  <b>TR20-3317</b> <b>RSS</b>	31 Mar 20	04/02/20	Cross section reinforced soil slope <b>TR20-3317</b> <b>RSS</b>	12 Feb 2020	04/02/20	Identical
OMB A  <b>TR20-3317</b> <b>RSS</b>	31 Mar 20	05 Feb 2020	Slope Data  <b>TR20-3317</b> <b>RSS</b>	24 Jan 2020	05 Feb 2020	Identical
OMB B  <b>TR20-3317</b> <b>RSS</b>	31 Mar 20	05 Feb 2020	Slope Data  <b>TR20-3317</b> <b>RSS</b>	24 Jan 2020	05 Feb 2020	Identical
OMB C  <b>TR20-3317</b> <b>RSS</b>	31 Mar 20	05 Feb 2020	Slope Data  <b>TR20-3317</b> <b>RSS</b>	24 Jan 2020	05 Feb 2020	Identical
OMB RU  <b>TR20-3317</b> <b>RSS</b>	31 Mar 20	05 Feb 2020	Slope Data  <b>TR20-3317</b> <b>RSS</b>	24 Jan 2020	05 Feb 2020	Identical
Quantities  <b>TR20 3317</b> <b>RSS</b>	31 Mar 20	06 Feb 20	Quantities  <b>TR20 3317</b> <b>RSS</b>	12 Feb 2020	06 Feb 20	Identical

Site location plan <b>RD 3962 07 A</b>	31 Mar 20	May 2017	Site location plan <b>RD 3962 07 A</b>	20 Aug 2019	May 2017	Not updated with new configurations of properties & gardens/parking at 59 Cheapside.
Proposed site plan <b>RD 3962 17</b>	31 Mar 20	Mar 2020	Proposed site plan <b>RD 3962 02 P</b>	12 Feb 2020	Jun 17	All measurements identical
Existing site plan <b>RD 3962 01 D</b>	31 Mar 20	Jun 17	Existing site layout <b>RD 3962 01 C</b>	20 Aug 2019	Jun 17	Change C to D is existing trees added

## APPLICATION DM/2065/20/REM

## LIST B SHOWING THE 14 DOCUMENTS WHICH APPEARED ON THE PLANNING PORTAL 7 SEPTEMBER 2020















<input type="checkbox"/>	07 Sep 2020	Amended Document	MICRO DRAINAGE - STORM SEWER - 1-30-100	
<input type="checkbox"/>	07 Sep 2020	Amended Document	MICRO DRAINAGE - 100 YEAR 30CC	
<input type="checkbox"/>	07 Sep 2020	Amended Document	MICRO DRAINAGE - 100 YEAR 40CC	
<input type="checkbox"/>	07 Sep 2020	Amended Document	GREENFIELD RUNOFF RATES	
<input type="checkbox"/>	07 Sep 2020	Amended Plan	DRAINAGE LAYOUT	
<input type="checkbox"/>	07 Sep 2020	Amended Plan	SECTION 185 LAYOUT AND ADOPTABLE DRAINAGE CONSTRUCTION	
<input type="checkbox"/>	07 Sep 2020	Amended Plan	EXTERNAL WORKS CONSTRUCTION DETAILS	
<input type="checkbox"/>	07 Sep 2020	Amended Plan	TYPICAL VEHICLE CROSSOVER CONSTRUCTION DETAILS	
<input type="checkbox"/>	07 Sep 2020	Amended Plan	DRAINAGE CONSTRUCTION DETAILS - SHEET 2 OF 2	
<input type="checkbox"/>	07 Sep 2020	Amended Document	SITE INVESTIGATION REPORT	
<input type="checkbox"/>	07 Sep 2020	Amended Document	SOIL REPORT	
<input type="checkbox"/>	07 Sep 2020	Amended Plan	PROPOSED SITE CROSS SECTIONS	
<input type="checkbox"/>	07 Sep 2020	Amended Plan	FOUNDATION GENERAL ARRANGEMENT	
<input type="checkbox"/>	07 Sep 2020	Amended Document	TOPSOIL CLASSIFICATION	



TABLE B SHOWING THE 14 DOCUMENTS WHICH APPEARED ON THE PLANNING PORTAL 7 SEPTEMBER 2020

New Application Document DM / 0148 / 17 / OUT 28.04.2017 Validated 05 AUG 2020 Reference: DM 0265 20 REM			Application DM / 0759 / 19 / FUL REFUSED 23 JULY 2020 Validated Tues 20 Aug 2019 Reference DM / 0759 / 19 / FUL			comparison
Document Description	Date published on NELC Planning Portal	Document Dated	Document Description	Date published on NELC Planning Portal	Document Dated	Same & changes
Amended Document MICRO DRAINAGE – STORM SEWER – 1-3-100	07 SEP 2020	12 / 07 / 2019 08.46	SUPPORTING DOCUMENTS  MICRO DRAINAGE	24 JAN 2020	12 / 07 / 2019 08.46	SAME DOCUMENT  NO CHANGES
Amended Document MICRO DRAINAGE – 100 YEAR 30CC	07 SEP 2020	12 / 07 / 2019 08.42	SUPPORTING DOCUMENTS  MICRO DRAINAGE	24 JAN 2020	12 / 07 / 2019 08.42	SAME DOCUMENT  NO CHANGES
Amended Document MICRO DRAINAGE – 100 YEAR 40CC	07 SEP 2020	12 / 07 / 2019 08.44	SUPPORTING DOCUMENTS  MICRO DRAINAGE	24 JAN 2020	12 / 07 / 2019 08.44	SAME DOCUMENT  NO CHANGES
Amended Document GREENFIELD RUNOFF RATES	07 SEP 2020	12 / 07 / 2019 14.35	SUPPORTING DOCUMENTS  SUDS STORAGE REPORT	24 JAN 2020	12 / 07 / 2019 14.35	SAME DOCUMENT  NO CHANGES
Amended Plan  DRAINAGE LAYOUT 1115-1163-CIV-10 P10	07 SEP 2020	JULY 2019 AMENDED 04.09.20	SUPPORTING DOCUMENTS  MICRO DRAINAGE 1115-1163-CIV-10 P9	24 JAN 2020	JULY 2019 AMENDED TO SUIT SINGLE SURFACEWATER DISCHARGE	ROOF LINES AMENDED 04.09.20

Amended Plan  SECTION 185 LAYOUT & ADOPTABLE DRAINAGE CONSTRUCTION <b>1115-1163-CIV-20 P4</b>	07 SEP 2020	JULY 2019  LAST AMENDED 30.10.19	SUPPORTING DOC SECTION 185 LAYOUT, LONGITUDINAL SECTION&ADOPTABLE DRAINAGE CONSTRUCTION DET <b>1115-1163-CIV-20 P4</b>	03 DEC 2019	JULY 2019  LAST AMENDED 30.10.19	SAME DOCUMENT  NO CHANGES
Amended Plan  EXTERNAL WORKS CONSTRUCTION DETAILS <b>1115-1116-CIV-30 P2</b>	07 SEP 2020	SEP 2019  LAST AMENDED 28.09.19 DRIVE DETAILS	SUPPORTING DOCUMENTS  EXTERNAL WORKS CONSTRUCTION DETAILS <b>1115-1116-CIV-30 P2</b>	03 DEC 2019	SEP 2019  LAST AMENDED 28.09.19 DRIVE DETAILS	SAME DOCUMENT  NO CHANGES
Amended Plan  TYPICAL VEHICLE CROSSOVER CONSTRUCTION DETAILS <b>1115-1163-CIV-40</b>	07 SEP 2020	AUGUST 2018  (OLDER DOCUMENT – IS THIS A MISTAKE ?)	SUPPORTING DOCUMENTS  TYPICAL VEHICLE CROSSOVER CONSTRUCTION DETAILS <b>1115-1163-CIV-40 A</b>	03 DEC 2019	AUGUST 2018  SPEC AMENDED 02-03-20	THIS IS AN OLDER DOCUMENT THAN THE ONE LISTED WITH REFUSED APPLICATION AND DOES NOT INCLUDE <b>SPEC AMENDED 02.03.20</b>
Amended Plan  DRAINAGE CONSTRUCTION DETAILS 2OF2 <b>1115-1163-CIV-51 P1</b>	07 SEP 2020	SEP 2019	SUPPORTING DOCUMENTS  DRAINAGE CONSTRUCTION DETAILS 2OF2 <b>1115-1163-CIV-51 P1</b>	03 DEC 2019	SEP 2019	SAME DOCUMENT  NO CHANGES

Amended Document  SITE INVESTIGATION REPORT <b>0168/4391/P</b>	07 SEP 2020	NOVEMBER 2017	ADDITIONAL INFORMATION PLANS  SITE INVESTIGATION REPORT <b>0168/4391/P</b>	05 JAN 2018 AS PART OF DM/0735/17/FUL REFUSED AT APPEAL	NOVEMBER 2017	
Amended Document  SOIL REPORT <b>PSL 19/5860</b>	07 SEP 2020	11 OCTOBER 2019				
Amended Plan  PROPOSED SITE CROSS SECTIONS <b>RD:3962-21 A</b>	07 SEP 2020	SEPT 2020	PROPOSED ELEVATIONS  PROPOSED SITE CROSS SECTIONS <b>RD:3962-06 C</b>	20 AUG 2019	JUNE 2017  PREVIOUSLY INCLUDED DORMERS	DOES PLOT 2 STILL SHOW A DORMER IN THE NEW DIAGRAM ?
Amended Plan  FOUNDATION GENERAL ARRANGEMENT <b>RD:3962-25</b>	07 SEP 2020	SEPT 2020				NO DEPTH MEASUREMENTS ARE GIVEN -
Amended Document  TOPSOIL CLASSIFICATION FILE REF <b>0367/4347/G</b>	07 SEP 2020	DATE SAMPLED 06/02/2020  DATE TESTED Q4-21/02/2020  DATE REPORTED 24/02/2020				NEW DOCUMENT  SITE LOCATION IS LISTED AS STOCKPILE IN GRASBY.

# Comments for Planning Application DM/0265/20/REM

## Application Summary

Application Number: DM/0265/20/REM

Address: 59 Cheapside Waltham Grimsby North East Lincolnshire DN37 0HE

Proposal: Reserved matters application following DM/0148/17/OUT (Outline application to demolish existing commercial outbuildings and erect 3 dwellings with all matters reserved) to erect 3 dwellings with associated works

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Debbie Fuller

Address: 7 Cheesemans Close Waltham

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Once again, as an affected neighbouring property, I am opposing the proposals for this site.

As I see it, there is no difference in in this application to previous applications which were refused, other than the rooms being removed from the roof and I fail to see how this changes any of the problems we've been highlighting throughout this process which have yet to have answered.

Until this application is changed to reflect unaddressed concerns relating to the increased risk of flooding, lack of drainage detail and the remodelling of the bank of the beck to accommodate the smallest, yet most problematic plot 1, I will continue to oppose any future applications for this site.

I would ask that this application be refused.

## Application number DM/0265/17/REM

Once again, as an affected neighbouring property I am opposing the proposals for this site.

I did wonder if there was any merit in repeating over and over what I've said in past comments opposing it, as, fundamentally everything I had an issue with before still stands, but I do think it is necessary to reiterate my main concerns until they are addressed, as they are based on very real problems and fears, having only recently seen a photo of my badly affected home in Cheesemans Close in the flooding of 2007. My neighbours' comprehensive comments cover all the issues that still need to be resolved/answered.

I only moved here in Summer 2016 and have seen the beck rise to worrying levels on at least 4 occasions, 2 of which were in November 2019 and February 2020. This site is problematic so close to the main drain for Waltham

<https://www.grimsbytelegraph.co.uk/news/local-news/live-updates-heavy-rain-leads-3514685>



The Telegraph reporters were in the area to look at the Beck during the heavy rain in November 2019 and took this photo from the back of my garden

As I see it, there is no difference in what is being proposed this time to previous applications which were refused, other than the rooms being removed from the roof and can't see how this makes any difference to the problems we've been highlighting throughout this process and have yet to see addressed.

These "bungalows" are the same in footprint and profile and they do not represent the smaller, lower profile bungalows of the outline application this reserved matters application is based on.



These proposed homes are at a higher level on the opposite bank so will be very visible to me, particularly since they are so close to the beck side. The original smaller and lower profile bungalows were shown on the original outline plans.

I still take particular issue with Plot 1 which has been the most problematic all along, being so close to the edge of the beck at the barest minimum of 6m, and therefore needing the remodelling work to the bank to allow for the deep foundations. This plot is squeezed in an unsuitable gap and as neighbours' have pointed out in their comments, very small internally. It seems to offer very little value as a property. As can be seen from the bottom of my garden, the plot is very close and higher than mine, so unless the laurel trees that are suggested are of a significant size, will offer very little screening/privacy over and above the 1.2m post and rail fence and especially so from a 'raised timber deck' at the back corner of the proposed 'bungalow'.



The beck remodelling is now purely for Plot 1 to exist - at one time it was to stretch for the length of the bank. Reinforcing one small length will compromise the overlapping/adjoining reinforcement of tyres already in place. The tyres, roots, and old sink etc currently holding the bank together are doing a job, albeit an ugly one and for the bank to be bettered in some way to prevent it failing is an attractive thought but not if it isn't to be done in a way as to not cause additional problems with erosion/failure in the future.

Until this application is changed to reflect unaddressed concerns, I will continue to oppose any future applications for this site and would ask that once again this application be refused and that permitted development rights should also be removed.

Mrs Debbie Fuller  
7 Cheesemans Close

# Comments for Planning Application DM/0265/20/REM

## Application Summary

Application Number: DM/0265/20/REM

Address: 59 Cheapside Waltham Grimsby North East Lincolnshire DN37 0HE

Proposal: Reserved matters application following DM/0148/17/OUT (Outline application to demolish existing commercial outbuildings and erect 3 dwellings with all matters reserved) to erect 3 dwellings with associated works

Case Officer: Richard Limmer

## Customer Details

Name: Mr Stephen Boyd

Address: 8 Cheeseman's Close Waltham

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: We object in the strongest possible terms to this application.

The homes in this application are virtually identical to those in the previous applications. The only changes are that rooms in the roof have been removed and the ground floors have been reconfigured as bungalows. Consequently, this application has the same problems that are associated with previous applications.

The application form states that the reason for changes to the original drawings of DM/0148/17/OUT is to have a different layout in order to achieve larger garden areas. Comparison of Layout and Visuals, in DM/0148/17/OUT, to this application's Proposed Site Plan, makes this hard to believe.

The home on Plot 1 remains dangerously close to the bank, it is still only 90cm from a neighbour's boundary, it still has a tiny garden, but its internal layout is now so small that residents would presumably have to eat from trays on their laps!

This application contains nothing new to solve the problems associated with previous planning applications and does not show that this development would not cause instability to the bank that would endanger our homes.

There is no information on drainage.

The council has the ultimate responsibility that this stretch of the beck continues to function as the

main drain. If this is approved then the beck's safe, future function is open to doubt. We respectfully ask that this application be refused.

Stephen and Sylvia Boyd



DM/0265/20/REM

We object in the strongest possible terms to this application and to the manipulation of the planning process.

The principle of development for bungalows is accepted, but these plans are so similar to DM/073/17/FUL and DM/0759/19/FUL that it leaves this application with the same problems as the two refused applications for homes with rooms in the roof.

The homes on this outline application have the same footprint, roof profile and dimensions as the twice refused plans. They are almost identical in every respect except they do not have rooms in the roof. Rather than redesign and reposition the homes to solve the problems the site throws up regarding compromise of the beck the developer has fallen back on the 2017 outline permission. Some new details of foundations, topsoil classifications and soil report are included.

Reference to:

Layout and Visuals, 006.03.002.A of DM/0148/17/OUT

Proposed Site Plan, RD:3962-O2 of DM/0265/20/REM

The application form states that reason for changes to the original drawings in the outline for approval of DM/0148/17/OUT is a different layout to achieve larger garden areas in this application. Comparison of 2017 Layout and Visuals to this application's Proposed Site Plan makes this hard to believe.

The only similarities to the original outline proposals are that there are no rooms in the roof. It forces one to ask if the developer intends these homes to remain as bungalows.

Plot 1 is still 6m from the beck, still has a small garden and needs deep foundations. It now has 1 double bedroom and 1 single, but no dining room or seemingly, no room in the kitchen for a dining table! Many thought **Plot 1 to be** small in the last application.

Plans for this site have been refused twice and refused at appeal. Each time, they have not been clear enough to show that Buck Beck would not be compromised as the main drain for Waltham. Yet, almost identical plans have been submitted.

As the Planning Inspector said in her judgement, without further details of the proposal in terms of the impact on the adjacent bank, this is not sufficient in itself to demonstrate that there would be no increased risk of flooding should the integrity of the adjacent watercourse bank fail as a result of the proposed development. That judgement was based on what the developer intended to do to the bank, at that time, and proximity of buildings to the bank. In the last application, not all problems had been resolved – those problems remain in this application.

We see problems with:-

1. The actual construction of the reinforcement.
2. The apparent remodelling of the short section of the bank that continues along from the reinforcement and which is without the benefit of reinforcement itself.
3. How the remodelled bank sits within the rest of the bank without creating erosion elsewhere.

4. The proximity of the building on Plot 1 to the reinforcement of the bank combined with the unstable geology here and deep foundations.
5. The remains of the hedge.

### **Erosion Control and Bank Treatment**

It is important to put our objections in context.

At the Planning meeting of 22/07/20, it was said that the reinforcement was “a significant betterment of this section of the bank”. At the moment that section is in considerably better condition than the rest of the bank along the whole **stretch** of the site because the tyres, rudimentary as they are, are doing a good job (that is not a request for them to stay). It cannot be denied that a constructed slope to replace what is there now would be “betterment” but only if potential problems are addressed.

The reason that the tyres are being excavated is that the first plan in application DM/073/17/FUL (refused at appeal) was to remove most of the Western Red Cedar hedges and then stabilise the whole bank along the site with an erosion blanket.

It was obvious at the time of that application that they were not aware of the tyres in the bank. After the failed appeal they had no choice but to move the buildings on Plot 1 and 2 further from the bank and excavate the tyres then reinforce that section because of the proximity of the home on Plot 1 to the bank. Probably because of expense, the erosion blanket on the rest of the bank was shelved and the trees, most of which were to be excavated, were to be left in place. The state of the trees today is down to precipitate work on them before permission was granted when it was expected that most would be removed.

### ***OMB A, B & C Data, Quantities 1480850, Reinforced soil slope and Quantities documents***

These documents contain no new data that has not already been submitted in previous applications except for the Soil Report and Topsoil Classification documents that give details of soils from the Welton Aggregates stockpile at Grasby.

It is true that the data shows a tried and tested method of bank reinforcement which is better than the ad-hoc reinforcement of tyres. However, there are questions and anomalies in the plans that could have serious consequences for the residents of Cheeseman’s Close. We would like assurances before construction begins.

The watercourse around the boundary of this site is sensitive due to the friable nature of the bank and the geology of the surrounding soils, as borne out by the Site Investigation Report. Also, it will have the added stress of invasive and uncertain work to it and near it (the effects of which will affect the adjacent banks.)

The developer knew the details of our concerns, yet the proposed construction detail of the erosion control is little more than an “off the shelf” plan. Most of the data is the algorithm used to calculate the details of the slope. There is little evidence that (apart from measurements) the geological and topographical conditions of this site have been applied specifically instead of generically. This construction must relate safely

and sustainably to either of the adjacent banks. Its proximity to buildings which will require deep foundations is of great concern to us.

Photographs show that in winter the beck here regularly rises almost to the top of the bank during wet periods. It is deep and powerful and quickly finds weaknesses in the bank. These events are by no means the 1:100 year failsafe.



**Figure 1 Height that beck frequently rose to in the winter of 2019-2020**

Our concerns are with issues relating to erosion control and the treatment of the banks that were shared by the last refusal of planning:

a) The long term, efficient drainage of the slope depends upon the suitability of the infill. The use of a material with the wrong properties could lead to future instability. The decision as to the nature of the infill will be made at the time of construction. I am concerned that a decision based on the actual suitability of the material to be used is made and not the financial cost of it. Inclusion of the Soil Report and Topsoil Classification data in this application would seem to indicate that infill may come from off-site if the excavated natural is not suitable, although that is not clear. We are still left with who will make that decision to use it.

b) This is a technical construction. The data sheets show how tight and important the parameters are in its construction. Once built it is too late to check if the construction has followed the plans accurately. This was pointed out at the 22/07/2020 planning meeting and has always been a concern to us given the developer's history on the site.

c) The deep excavation of the reinforcement will go back almost 3m. That is 3m from the point where deep foundations for the building on Plot 1 will eventually be dug. Foundation forces of the building on Plot 1 will extend into that area of disturbed soil and heavy machinery will operate close to it when trenches are dug. Reports submitted, showed the soil to be so unstable as to require trenches to be shored if man access to them is required. Presumably, the bank will be reinforced first; understandably, we are concerned that the reinforcement is built within its parameters in order to withstand later forces on it as well as 1:100 year flood events. It is that combination of forces; construction of foundations, their exerted forces in proximity to the bank plus the force of water flows in 1:100 year events, which worry us.

d) The construction breaks into the line of tyres reinforcing the bank leaving 2 or 3 meters of tyres in situ along the bank belonging to 53 Cheapside. The treatment of that join is a potential point of weakness. It will not be easy to leave a neat cut in the

tyres remaining in 53's bank. The owners of 53 Cheapside need to know that a stable joint, unaffected by scouring in the powerful flow of the beck when it is high, will be achieved and will not leave their bank liable to increased erosion at the joint.

e) The measurement of the building on Plot 1 from the bank is taken from the current bank edge along the section of tyre reinforcement. This will also be the edge of the reinforcement. Currently, the top of the bank that follows on from the tyres is set back close to the base of the hedge. Comparison of the drawings, **Existing Site Plan, REV-D** and **Proposed Site Plan REV-O** appear to show that the top of the bank along the rest of Plot 1 that continues from the reinforcement is to be moved forward and remodelled to match the edge of the bank formed by the new reinforcement.

If that is the intention then that short section would be without the benefit of reinforcement. There are four existing trees which are to be retained. The top of the bank at the moment runs between their trunks. Moving this short section of the bank forward would be a major alteration, yet there is nothing with the plans of the reinforcement that would explain this. It is not clear to us how this section will be pushed forward with the trees still in situ.

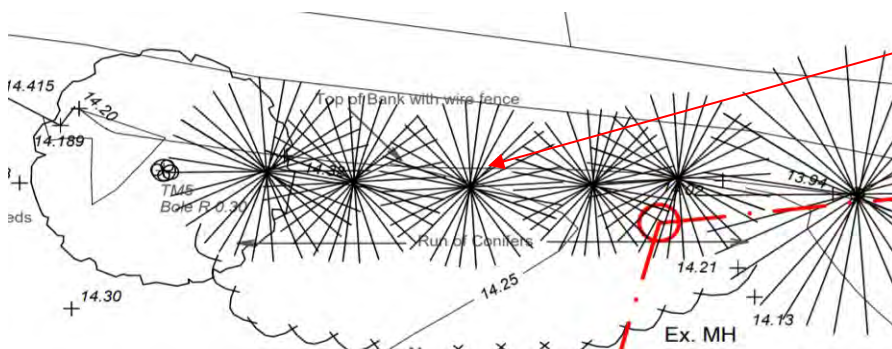


Figure 2 Existing Site Plan

The present top of the bank with the remains of the wire fence is marked running at the base of the hedge.

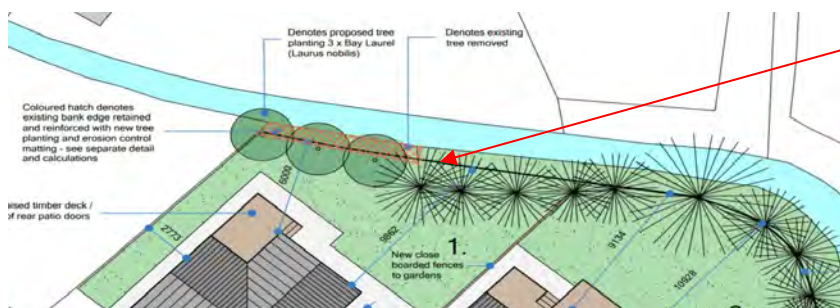


Figure 3 Proposed Site Plan

The line of the top of the bank can be seen in front of the trees as it follows on from the reinforcement in the Proposed Site Plan.

f) The developer intends to do very little to the rest of the bank that follows on around the site from the reinforcement. There is nothing in the application that considers the possibility that when the bank in front of Plot 1 is remodelled then there could be the potential to create scour points or weaknesses at profile changes during peak flows. The rest of the bank is not in a stable state. We would be reassured if the application at least considered that new bank profiles will need to relate to banks upstream and downstream. I would like to reiterate here that having lived in

Cheeseman's Close for 29 years we are seeing an increasing occurrence of peak flows and this concern was echoed by councillors when the application was refused in July.

g) The truncated remains of the Red Cedar trees left after lopping are an eyesore rather than an amenity, but vital for the bank. They were to remain at the last application. At any other site, they would be irrelevant however the job they do here in holding the bank together with their roots makes it important that provision is made now and into the future to ensure they remain or are replaced before building begins so the bank can be adequately protected for years to come.

It is inconceivable that all owners of these homes would be happy with such a boundary. Future owners may seek to replace the trees. These are quite large trunks with correspondingly large root systems. Digging them out may be difficult to do after homes have been built and their potential removal may weaken the bank. The roots of new trees would not necessarily bind the bank for some time. Inevitably such replacement would be piecemeal. In the last application, nothing had been put in place to prevent them from being removed following construction (or prevent removal at any point in the future). We think it is something to be considered.

h) Future maintenance is an issue. It was claimed that there was space on the land to get a JCB in as it is the easement for Anglian Water's sewer. Will the new close boarded fence in the 4m access point be easily dismantled if access for a JCB is needed in the future?



**Figure 4 Trunk before removal**

Although the beck is walked once a year, residents know that a tree trunk from this site lay across the beck for several years and debris regularly formed a dam causing considerable detriment and such was the volume of water in the beck during prolonged continuous rainfall in November 2019 that the trunk became dislodged, floated and then settled on the bed. Following repeated requests from a neighbour, who alerted drainage about the build-up of debris and silt, the trunk was finally removed in February 2020 when I believe a JCB from the site was used to drag it out of the beck.

The bank along this section is dynamic and undercutting of some of the cedar hedge is already occurring where a concrete slab is embedded. The remaining trees are not exactly in the best of conditions because of how they have been left.

i) The tree report for DM/0148/17/OUT is made obsolete by the remains of what is left today. The unimaginative use of Bay Laurel clearly shows amenity value for homeowners or neighbours is a low priority. This simple omission rings alarm bells regarding future intentions.

## **Surface Drainage**

The depth of soil suitable for infiltration on this site is shallow and the last application did not definitively establish by borehole the groundwater height where the main infiltration tank is to be sited. Discharge by limiting the flow to Greenfield rates into the beck is proposed. Test Pit 2 shows that this is likely the deepest soil area on the site where an attenuation tank can be sited. Groundwater had not been reached in it, but the soil was damp, indicating that groundwater was not far below. An infiltration tank needs at least 1m of soil beneath it that will allow water to percolate freely to work efficiently.

Although our gardens are on the opposite bank and at a lower level to the site the geology and topography is similar. After only normal rainfall levels in the winter, the groundwater quickly rises, often leaving our gardens waterlogged. This state is also quickly achieved in summer downpours. This means that in the winter the infiltration tank could discharge with the first 5mm of rain because high groundwater will render the infiltration ineffective.

National Standards for Sustainable Drainage Systems. Low rainfall. B2. There must be no discharge to a surface water body or sewer that results from the first 5mm of any rainfall event.

Infiltration may work in the summer, but it is pointless in the winter. The fact that it is planned to discharge into the beck is proof that the designer recognises that. The proposed tank has to cope with the flow from three roofs and is not large enough anyway.

Where infiltration will not hold back surface water to acceptable levels discharge via a reduced outlet into the nearest surface water is allowed. In that case, other features would be added to development to mitigate, as far as possible, the volume of surface water before discharge. There are no features proposed for this development other than the attenuation tank.

Drainage **is** a particular problem for this site because the issues of surface drainage and attenuation were only considered **after** the main design of buildings had been set. Discharge is into an increasingly sensitive Buck Beck.



The calculation process for Qbar is a usable approximation that can provide acceptable solutions for a SuDs design. It must be recognised that it achieves, at best, an approximation of how the system will behave in reality. This is true of all developments past, present and future that use SuDs and feed into the beck.

Buck Beck has large, mainly urban catchments which, these days, reaches peak very quickly. The autumn and winter of 2019 and 2020 saw the beck rise almost to capacity on several occasions stopping our street gully from discharging. These occasions were in no way 1:100 year events. This stretch of the beck is recognised as having a high flood risk for the homes at the bottom of Cheeseman's Close that were flooded internally in 2007. This was an unprecedented event; one we have narrowly avoided on several occasions since.



**Figure 5 2007 Cheeseman's Close - 3 days after flooding**

The information submitted 7 September 2020 contains little new information that has not been seen before. Our opposition to discharge into the beck is not that discharge from this particular site would pose a flood threat to us, but that there appears to be no collected data on Peak Flows in the beck that would inform planners as to how sensitive the beck is becoming. Those of us who live next to the beck see that every time we have prolonged heavy rain.

Waltham is seeing a huge rise in house building and this looks set to continue both upstream and downstream into the future. All are draining, one way or another, into the beck. It is the constant accumulation of drainage that concerns us. The consequences of discharge into the beck, even when limited to Greenfield rates, should be considered much more carefully in the special case of Buck Beck. Its capacity in its present state is finite.

Much reliance is placed on the gates installed at Mount Pleasant. Last winter the street gullies in Cheeseman's Close could not discharge because of the height of the beck. The precaution of closing the flood gates had been taken. When the flood gates were opened the beck at Cheeseman's Close remained high with the gully in the close still unable to discharge. Fortunately, the rain had stopped so water did not have the chance to collect around our homes as it has done before. If our experience had been different and heavy rain had already caused flooding to us the release of water held by the gates would have prolonged that flooding by keeping the beck high instead of it subsiding when rainfall stopped.

We feel that we have to continually state the obvious with this development. From a planning perspective, the SuDs system ticks all the boxes. It is not this site that will have the problems we have continually outlined.

In the first full application, the surface drainage system proposed was subordinate to design and placement of the homes on the site. On this small but awkward site drainage should have been considered alongside the design process and informed the design. No such design changes have been made in this application. These homes are not the same ones in the outline application. What we would like to see is a design of homes that works with the difficulties of infiltration and attenuation that are presented by this site to hold back and use the runoff from roofs before it enters the system so reducing what comes off the roofs to the smallest volume possible.

At the planning meeting on 22/07/2020, it was said that discharge from the site poses no flood threat. On its own, it does not. This development is one of many in Waltham, all discharging one way or another into the beck. Attenuation is not a silver bullet for flooding it is designed to give breathing space. The beck carries all the drainage of Waltham and it is already short of breath! The advent of wetter winters and the increasing load the beck carries means that no discharge, however small, should be allowed unless other measures to limit surface flow on a site where infiltration is not suitable have been used.

Buck Beck is becoming increasingly sensitive with every passing year. Even 1:20 year events see it charged almost up to the brim. Every development emphasises its sustainable attributes yet discharge into the beck is still allowed. Buck Beck is a special case. In each development, no matter its size, every opportunity must be taken **now** to keep the beck sustainable as the main drain. More and more developments are completed and planned; it may be too late to do much about it if the beck is unable to contain the load placed upon it.

The history of this site has a bearing on your decision. We do not believe that any of the problems that forced the change to plans of DM/073/17/FUL were foreseen. Building was to take place close to a drain so the nature of that drain ought to have been understood; there is a duty to ensure that any changes would not destabilise the bank. A failure of the bank here would have widespread consequences in Waltham.

The moving back of Plots 1 and 2 away from the bank and the reinforcement was forced upon the developer. The changes you are considering are not the result of careful research and care to ensure that neighbouring properties will not be affected, but the reaction to a failed appeal. The replacement of the bungalows shown in DM/0148/17/OUT is simply putting forward the same failed ideas, making small changes, without getting to the root of the problems. The developer appears determined to get his own way regardless.

We learned recently that properties on the bank are riparian owners and as such are responsible for the maintenance of their stretch. Most that live in the close are not aware of that and we have a high proportion of elderly residents who would not be able to physically maintain it or afford to pay for maintenance. In the fullness of time, this could just as well apply to the owners of these homes so changes to the bank now must be future proof.



We see how frequently the beck rises here. Our homes are already under threat of flooding each time the beck rises in spate; depending only on the vagaries of weather. We have the added worry that wrong decisions made on this site could cause bank instability and collapse. The flooding resulting from that would be far worse for us and would have wider repercussions. The council has the ultimate responsibility of this stretch of the beck as a drain.

This application no longer resembles DM/0148/17/OUT with its low profile bungalows. It is essentially the same as the past two full applications that were refused and has all their problems. This comment tries to convey our deep and legitimate worries over how this development has been planned and managed in the past. Those worries resurface again with this application. We respectfully ask that this outline application be refused.

Stephen and Sylvia Boyd      8 Cheeseman's Close

**PLANNING COMMITTEE - 4th November 2020**

**ITEM: 4**                      **RECOMMENDATION: Approval with Conditions**

**APPLICATION No: DM/0756/20/FUL**

**APPLICATION TYPE: Full Application**

**APPLICATION SITE: 47 Lidgard Road, Humberston, Grimsby, North East  
Lincolnshire, DN36 4XJ**

**PROPOSAL: Erect single storey extensions to both sides and the front elevation  
with various alterations**

**APPLICANT:**

Mr Dean Scattergood And Miss Michelle  
Nicholls  
47 Lidgard Road  
Humberston  
DN36 4XJ

**AGENT:**

Mr Carl Forman  
For-Ward Planning Consultancy Ltd  
45 Newbridge Hill  
Louth  
LN11 0NQ

**DEPOSITED: 9th September 2020**

**ACCEPTED: 14th September 2020**

**TARGET DATE: 9th November 2020**

**PUBLICITY EXPIRY: 11th October 2020**

**AGREED EXTENSION OF TIME DATE:**

**CONSULTATION EXPIRY: 10th October 2020**      **CASE OFFICER: Lauren Birkwood**

**PROPOSAL**

This proposal seeks to alter and erect single storey extensions to 47 Lidgard Road in Humberston. The proposed extensions would be externally faced in brickwork. These materials are proposed to match the existing dwelling. The window frames and doors would be upvc.

The application is presented to planning committee as an objection has been received from the Humberston8 Parish Council.

**SITE**

The site is 47 Lidgard Road in Humberston. The property benefits from a large front

garden which contains various landscaping. The property is a modest bungalow. The site has a mixture of boundary treatments from hedges to high close board fencing. Neighbours surrounding the property includes 45 and 49 Lidgard Road. These neighbours are bungalows.

## **RELEVANT PLANNING HISTORY**

No relevant planning history.

## **RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS**

### National Planning Policy Framework (February 2019)

NPPF12 - Achieving well designed places

NPPF14 - Climate, flooding & coastal change

### North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO5 - Development boundaries

PO22 - Good design in new developments

PO34 - Water management

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

## **REPRESENTATIONS RECEIVED**

Humberston Parish Council - Objects to the proposal due to the large scale of the development, it would impact upon neighbouring properties and there is insufficient parking in the area.

Drainage Officer - No objections. Surface water drainage details required.

Heritage Officer - No objections.

Highways Officer - No objections.

Neighbours

No responses

## **APPRAISAL**

### **Principle of Development**

The application site is within the development area of Humberston (policy 5). The proposal relates to alterations and extensions to an existing residential dwelling. The principle of development is therefore acceptable provided that the proposal does not give rise to significant issues in terms of residential amenity and drainage, and that the design is in accordance with policies 5, 22, and 34 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018), and sections 12 and 14 of the NPPF 2019.

### **Impact on Character of the Area**

The proposal seeks to extend the property at single storey level to the side elevations and front elevation. The proposed extensions would provide three additional bedrooms and a sun room. Various roof types would be incorporated into the design. The materials used would reflect features of the existing house. It is considered that the proposed single storey extensions on this existing property would not be seen as out of character in this context as Lidgard Road which is considerably diverse in design and appearance, including a mixture of property types. The comments of the Parish Council are acknowledged but the extensions are well related to the existing dwelling and subservient do not represent an over development of the site.

In summary, it is therefore considered to be in accordance with section 12 of the NPPF 2019 and policies 5 and 22 of the North East Lincolnshire Local Plan in relation to design.

### **Impact on Residential Amenity**

It is noted that comments have been received from the Parish Council with concerns regarding residential amenity issues. The extensions would be single storey in height and would be set within the site, away from the boundaries shared with neighbouring properties including 45 Lidgard Road (to the north west) and 49 Lidgard Road (to the east). Issues in terms of dominance and overshadowing would therefore be minimal. The extensions have been designed with hipped, pitched and flat roofs which pitch away from the neighbouring properties reducing significant impacts in terms of dominance..

There would be windows which would face the neighbouring properties. However, due to orientation and the presence of boundary treatments, issues in terms of overlooking would not be detrimental. No objections have been received from neighbours. The proposal is therefore considered to be in accordance with policy 5 of the North East Lincolnshire Local Plan in relation to residential amenity.

### **Drainage Issues**

The site is not within an area identified as having high flood risk by the Council's Strategic

Flood Risk Assessment 2011 or the Environment Agency maps. The Council's Drainage Officer has assessed the development and have confirmed that subject to further surface water drainage details, they have no objections to the proposal. A condition, to this effect, is recommended. The proposal accords with policy 34 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) and section 14 of the NPPF 2019.

### Highways Impacts

It is noted that comments have been received from the Humberston Parish Council with concerns regarding parking issues as the development would create a five bedroom dwelling. However, there is sufficient parking available within the site. The Council's Highways Officer has assessed the details provided and has no objections. The proposal therefore accords with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2019) in terms of highways impacts.

## CONCLUSION

It is considered that the proposal would be in-keeping with the existing property and wider area and is to be constructed in materials which would match the main dwelling. The proposal would not give rise to significant impacts in terms of residential amenity, drainage and highways impacts.

The application can therefore be approved in accordance with policies 5, 22 and 34 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) and sections 12 and 14 of the NPPF 2019, subject to a number of safeguarding conditions.

## RECOMMENDATION

### Approval with Conditions

#### (1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

#### Reason

To comply with S.91 of the Town and Country Planning Act 1990.

#### (2) Condition

The development shall be carried out in accordance with the following plans:

Site Location Plan, Existing Plans and Elevations - 398 - 20 - 01

Block Plan, Proposed Plans and Elevations - 398 - 20 - 02

#### Reason

For the avoidance of doubt and in the interests of proper planning in accordance with policies 5, 22 and 34 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

#### (3) Condition

The alterations and external materials to be used in the construction of the development shall be as stated within the application form dated the 9th September 2020. Unless, otherwise submitted to and approved in writing by the Local Planning Authority.

#### Reason

To maintain the visual character, appearance and setting of the development in accordance with policy 5 and 22 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

#### (4) Condition

No development shall commence until a scheme for the provision of surface water drainage works has been submitted to and approved in writing by the Local Planning Authority. Such scheme shall be implemented as approved prior to use of the proposed extensions.

#### Reason

To ensure the satisfactory drainage of the site in accordance with policy 34 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

### **Informatives**

#### 1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations including drainage and highway impacts. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policies 5, 22 and 34.

#### 2 Added Value Statement

Article 31(1)(cc) Statement - Positive and Proactive Approach

No problems have arisen during consideration of this application that have required working directly with the applicant to seek solutions.

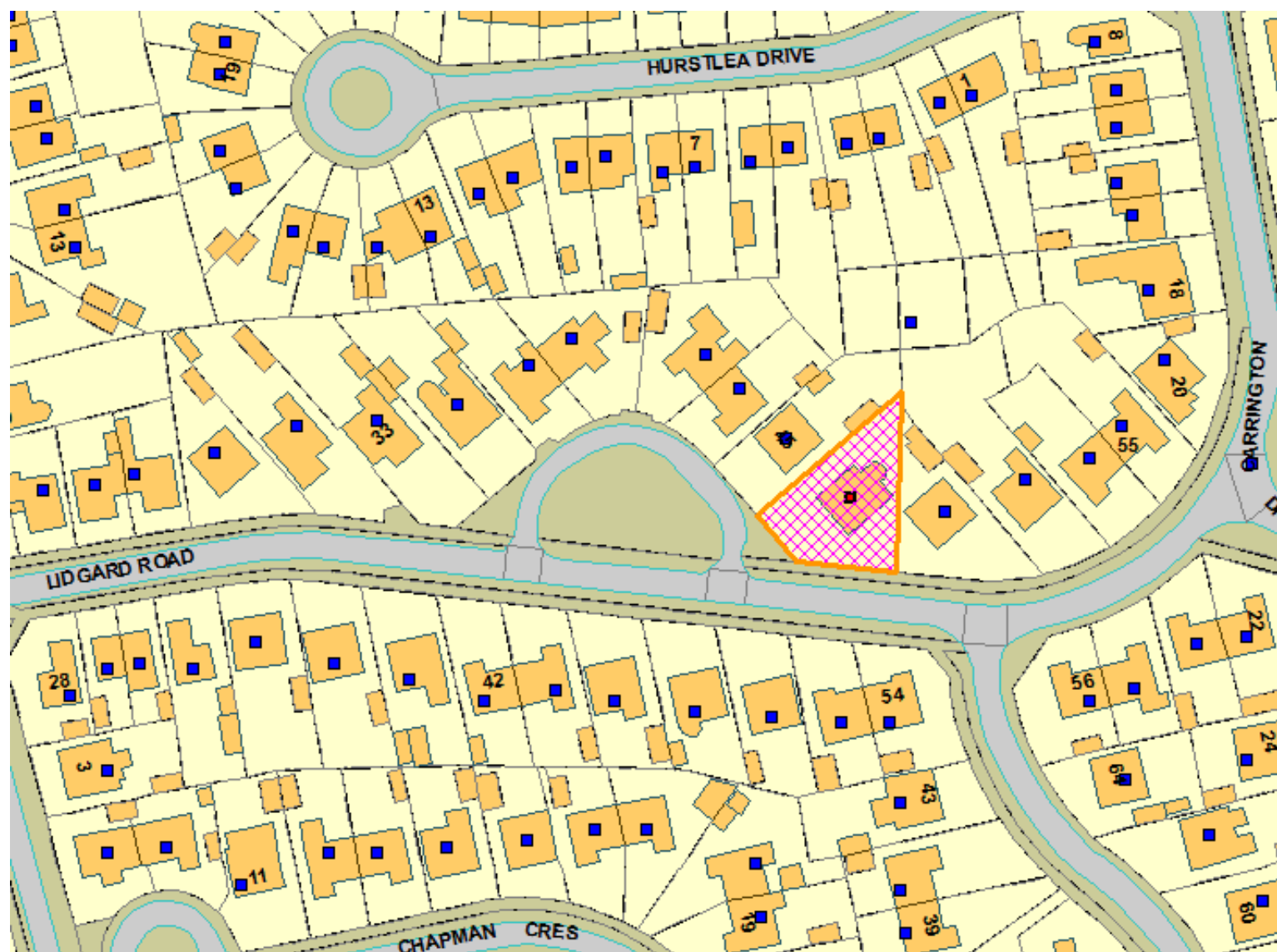
3 Informative

The applicants' attention is drawn to the fact that the requirements of the Party Wall Act may apply and you should seek advice from your agent or suitably qualified person.

4 Informative

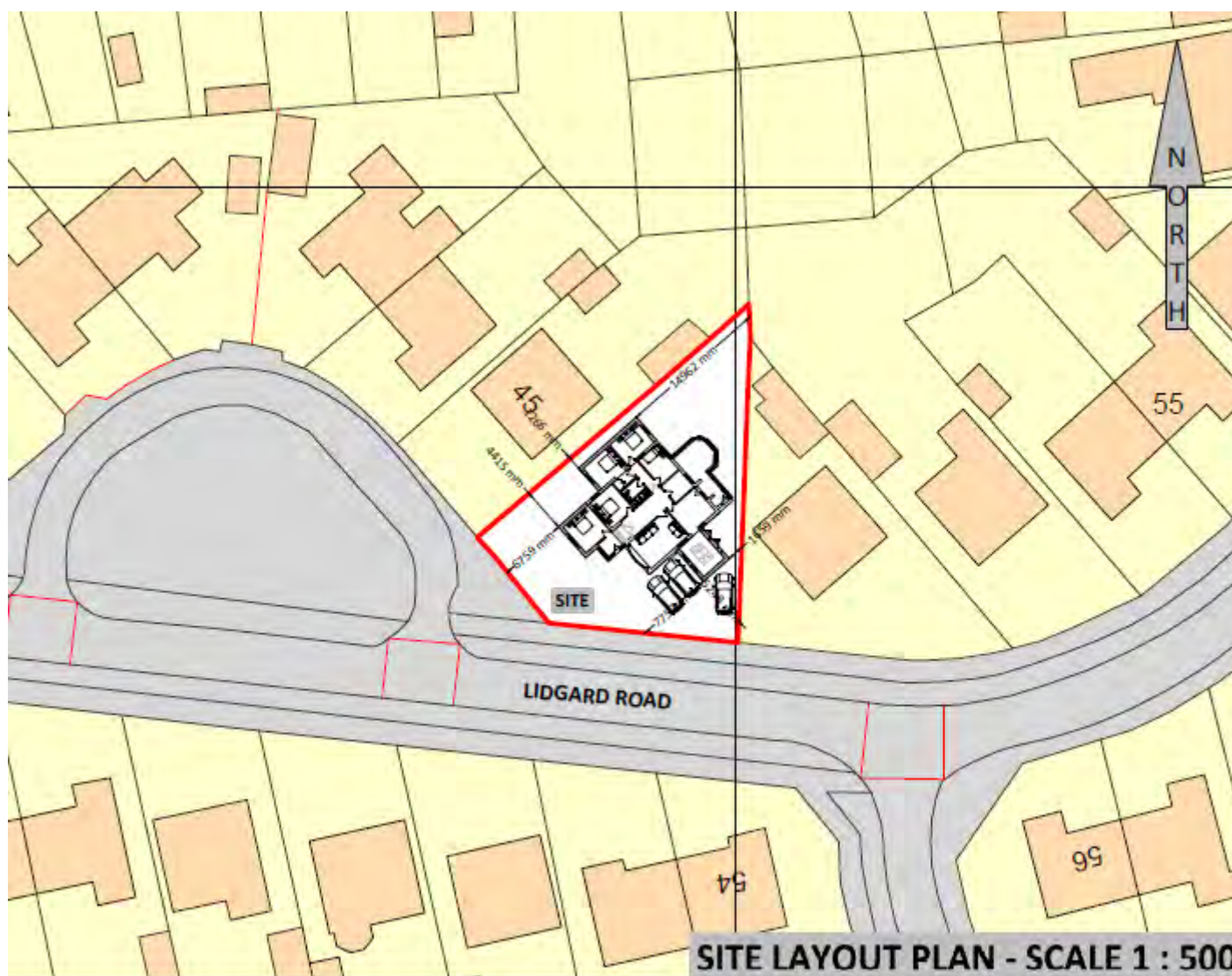
Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 325959).

DM/0756/20/FUL – 47 LIDGARD ROAD, HUMBERSTON





DM/0756/20/FUL – 47 LIDGARD ROAD, HUMBERSTON





## Humberston Village Council

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Clerk to the Council –  
Kathy Peers telephone: 07949 577661  
Email [clerk@humberstonparishcouncil.com](mailto:clerk@humberstonparishcouncil.com)

TO: [planning@nelincs.gov.uk](mailto:planning@nelincs.gov.uk)

<b>Planning Consultation Comments</b>
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12<sup>th</sup> October 2020

Dear Sirs,

The Parish Council considered the following applications at its virtual meeting held on Wednesday 7<sup>th</sup> October and wishes to submit the comments as shown:

**Planning Application Reference: DM/0756/20/FUL**

**Proposal: Erect single storey extensions to both sides and the front elevation with various alterations**

**Location: 47 Lidgard Road Humberston**

*Objections – the Village Council believes this is too large in scale for this site and in this location and will impact upon neighbouring properties. The Council also expressed concerns at apparent insufficient parking for what will be a 5-bedroomed property. The Council would wish to see this application refused.*

Yours faithfully,

KJ Peers

**KJ Peers**

**Clerk to the Council**

*1 Beach View Court, Norfolk Lane, Cleethorpes  
NE Lincs. DN35 8BT*

**PLANNING COMMITTEE - 4th November 2020**

**ITEM: 5**                      **RECOMMENDATION: Approval with Conditions**

**APPLICATION No: DM/0461/20/FUL**

**APPLICATION TYPE: Full Application**

**APPLICATION SITE: 16 Radcliffe Road, Healing, Grimsby, North East Lincolnshire, DN41 7NH**

**PROPOSAL: Alterations and first floor extensions to provide living accommodation at first floor (amended plans - height lowered & obscure glazed window)**

**APPLICANT:**

Mr Brian Sellars  
85 High Street  
Bempton  
Bridlington  
YO15 1HP

**AGENT:**

Mr Richard Dixon  
Richard Dixon Associates Ltd  
73 Cardigan Road  
Bridlington  
YO15 3JU

**DEPOSITED: 17th June 2020**

**ACCEPTED: 7th July 2020**

**TARGET DATE: 1st September 2020**

**PUBLICITY EXPIRY: 29th September 2020**

**AGREED EXTENSION OF TIME DATE: 6th November 2020**

**CONSULTATION EXPIRY:**

**CASE OFFICER: Lauren Birkwood**

**PROPOSAL**

This proposal seeks to alter and extend 16 Radcliffe Road in Healing to provide a first floor extension. The proposed extensions would be externally faced in brickwork with tiled roofs. The window frames and doors would be upvc.

The application is presented to planning committee as it has been called in by Councillor Hasthorpe and objections have been received from neighbouring properties and the Healing Parish Council.

**SITE**

The site is 16 Radcliffe Road in Healing. The property benefits from a large garden which

contains a few small fruit trees of varying condition and age. The property is a modest bungalow. The site has a mixture of boundary treatments from high trees and hedges to a 1.8m high close board fence on the eastern boundary adjacent to number 14 Radcliffe Road. The site does have a number of neighbours surrounding it on Radcliffe Road and The Avenue. These neighbours are a mixture of houses, dormer bungalows and bungalows.

## **RELEVANT PLANNING HISTORY**

DM/0224/15/OUT - Outline application for 3 dwellings - withdrawn.

DM/0719/15/OUT - Outline application for 2 no building plots to the rear of existing detached bungalow. Approved 11th January 2016.

DM/0007/19/OUT - Outline application for the erection of 2 dwellings with all matters reserved. Approved 5th April 2019.

## **RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS**

National Planning Policy Framework (February 2019)

NPPF12 - Achieving well designed places  
NPPF14 - Climate, flooding & coastal change  
NPPF15 - Conserv. & enhance the natural environ.

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO5 - Development boundaries  
PO22 - Good design in new developments  
PO33 - Flood risk  
PO34 - Water management  
PO42 - Landscape

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

## **REPRESENTATIONS RECEIVED**

Healing Parish Council - Objects to the proposal due to drainage concerns and the proposal would impact upon the amenities of residents.

Drainage Officer - No objections.

Environmental Health Officer - No objections.

Tree Officer - No objections.

Highways Officer - No objections.

Councillor Hasthorpe - Raises concerns such as residential amenity issues including overlooking and over intensification of the site, and flooding issues.

#### Neighbouring Representations

4, 6, 10 Radcliffe Road, Healing  
12A, 14 The Avenue, Healing

Objects to the proposal on the following grounds:

- Concerns regarding trees;
- Concerns regarding previous permission for dwellings to rear;
- Overlooking and privacy issues;
- Drainage and flooding issues;
- Dominance and overbearing concerns; and
- Overshadowing issues.

### **APPRAISAL**

#### Principle of Development

The application site is within the development area of Healing (policy 5). The proposal relates to alterations and extensions to an existing residential dwelling. The principle of development is therefore acceptable provided that the proposal does not give rise to significant issues in terms of residential amenity, landscaping and drainage and design in accordance with policies 5, 22, 33, 34 and 42 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018), and sections 12, 14 and 15 of the NPPF 2019.

#### Impact on Character of the Area

The proposal seeks to extend the property at first floor level. The proposed area of the first floor would be approximately 117 square metres and would include three bedrooms, two ensembles, a study and bathroom. Once built, the overall height of the property would be 7.1 metres. Hipped roofs would be incorporated into the design. The materials used would reflect features of the existing house. It is considered that a proposed first floor extension on this existing property would not be seen as out of character in this context as Radcliffe Road is considerably diverse in design and appearance, including a mixture

of houses, dormer bungalows and bungalows. The dwelling would still sit in good sized grounds and would not appear over developed. Indeed the overall mass of the works has been reduced through negotiations with the height of the roof lowered.

In terms of character of the area the proposal is considered to be in accordance with Policies 5 and 22 of the North East Lincolnshire Local Plan.

#### Impact on Residential Amenity

It is acknowledged that comments have been received from neighbouring properties, the Parish Council and Ward Councillor with concerns including privacy, dominance and overlooking issues. The applicant has amended the scheme to address these concerns. This included reducing the overall height of the extension by 1 metre and amending window details.

The extension would be set away from the boundaries shared within properties on Radcliffe Road (to the north east) and also number 14A The Avenue (to the north west) and 14 Radcliffe Road (to the south east). As a result of these separations there will be no adverse massing or overshadowing. The first floor extension has also been designed with hipped roofs which pitches away from the neighbouring properties reducing any impact.

There would be windows which would face the neighbouring properties. However, due to the separation distance and the presence of landscaping, issues in terms of overlooking would be minimal to those properties on Radcliffe Road and The Avenue to the front and rear. A common relationship between properties will be the result which will not be detrimental. With regards to the sides it is noted that landscaping on the boundary shared with 14A The Avenue has been removed, however the window facing this property is for a small study and is proposed to be obscure glazed and would be an acceptable distance away. Also to the other side onto 14 Radcliffe Road windows are proposed are more secondary (bathrooms) and again can be obscure. Immediate neighbours and those beyond will not be adversely affected from overlooking.

The proposal is therefore considered to be in accordance with policy 5 of the North East Lincolnshire Local Plan in relation to residential amenity.

#### Drainage Issues

The site is not within an area identified as having high flood risk by the Council's Strategic Flood Risk Assessment 2011 or the Environment Agency maps. It is noted that comments have been received from the Healing Parish Council and neighbouring properties with concerns regarding surface water drainage and flooding issues. The Council's Drainage Officer has assessed the development and have confirmed that they have no objections to the proposal. With it being primarily a first floor extension the actual footprint of the dwelling does not increase and as a result there should be no material impact on surface water drainage. The proposal accords with Policy 33 of the North East

Lincolnshire Local Plan 2013-2032 (Adopted 2018).

#### Tree Issues

It is noted that comments have been received from neighbouring properties with concerns regarding existing trees on the site. There is a Tree Preservation Order on the site. The development would not include the removal of existing landscaping in place. The Tree Officer has no objections to this proposal and therefore the proposal accords with policy 42 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) and section 15 of the NPPF 2019.

#### Other Issues

Concerns have been raised by neighbouring properties regarding the outline permission for two dwellings that has been previously approved to the rear of the proposal site. It should be noted that before the commencement of works on site, a reserved matters would need to be submitted to assess the impact to neighbouring properties further, including the existing and future occupants of 16 Radcliffe Road. It is not considered that the proposed development will prejudice the future development of this site.

### **CONCLUSION**

It is considered that the proposal would be in-keeping with the existing property and wider area and is to be constructed in materials which would match the main dwelling. The proposal would not give rise to significant impacts in terms of residential amenity, drainage or trees. The application can therefore be approved in accordance with policies 5, 22, 33, 34 and 42 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) and sections 12, 14 and 15 of the NPPF 2019, subject to a number of safeguarding conditions.

### **RECOMMENDATION**

#### **Approval with Conditions**

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

The development shall be built in accordance with the following plans:

Site Location Plan and Block Plan - 2001Q 4 REV D  
Proposed Plans and Elevations - 2001Q 3 REV C  
Proposed Sections and Levels - 2001Q 14

**Reason**

For the avoidance of doubt and in the interests of proper planning and to accord with policies 5, 22, 33, 34 and 42 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

**(3) Condition**

The proposed development shall be constructed using materials specified within the application form received on the 7th July 2020 unless otherwise first approved in writing by the Local Planning Authority.

**Reason**

This condition is imposed in the interests of design considerations in the context of the existing buildings in order to comply with policies 5 and 22 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

**(4) Condition**

All the windows to be created in the first floor side elevation (shown on drawing 2001Q 3 REV C) hereby approved shall be glazed in obscure glass only to an obscurity level of 3 or above as measured on the 'Pilkington Scale'. The windows shall be retained at the same level of obscurity thereafter.

**Reason**

In the interests of residential amenity in order to comply with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

**Informatives**

**1 Reason for Approval**

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations including drainage and trees. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policies 5, 22, 33, 34 and 42.



## 2 Added Value Statement

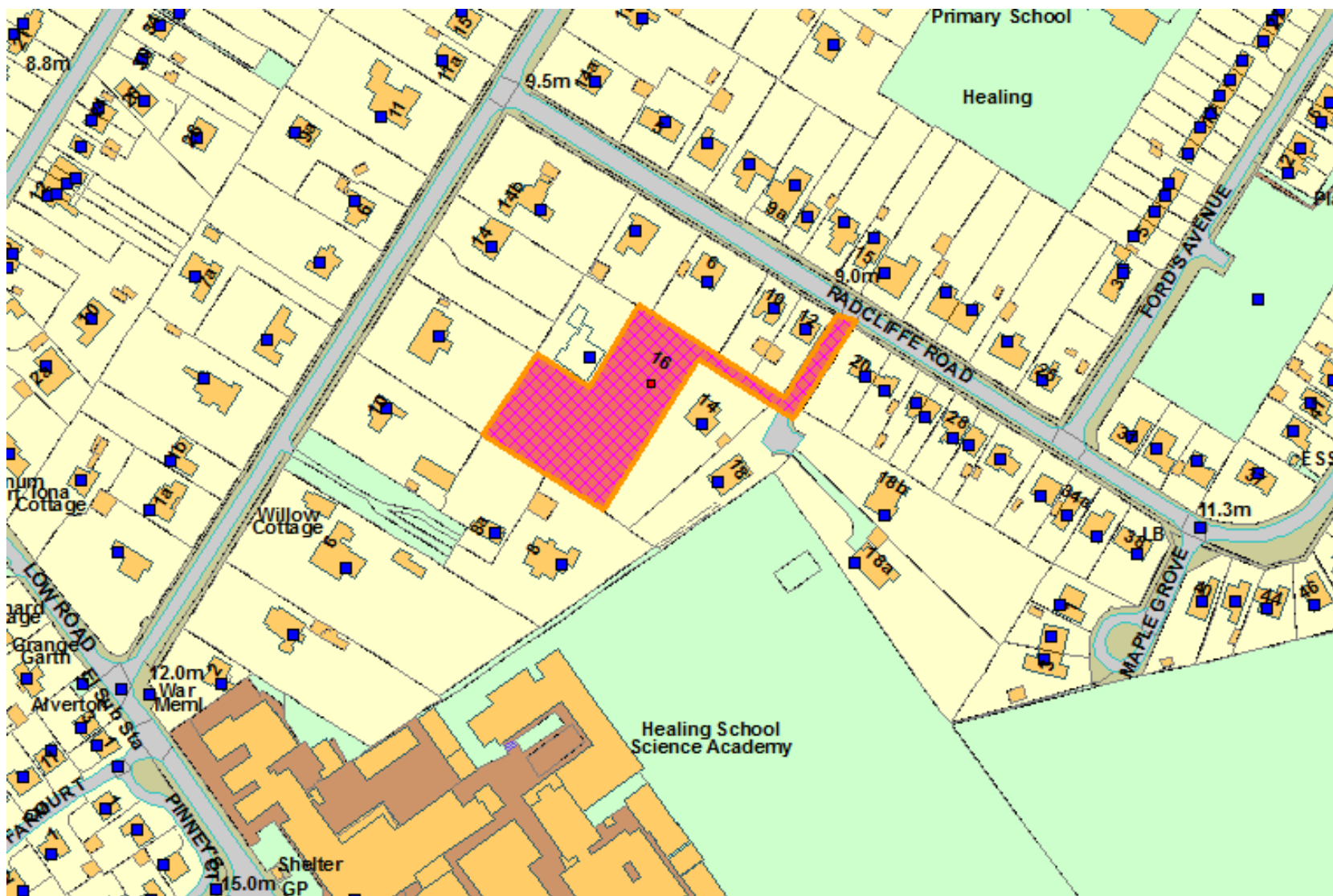
### Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by requesting amendments to the scheme to address neighbour and Parish Council concerns.

## 3 Informative

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 325959).

## DM/0461/20/FUL – 16 RADCLIFFE ROAD, HEALING





North East Lincolnshire Development  
Management Services  
New Oxford House  
2 George Street  
Grimsby  
North East Lincolnshire  
DN31 1HB



Working in Partnership

Telephone: 01472 326289 – Option 1

## REQUEST FOR APPLICATIONS TO BE HEARD AT PLANNING COMMITTEE

**Ward Member Reply Slip for Applications to be reported to the Planning Committee**

Application Number	Reason for Referring to Planning Committee
DM/0461/	CONCERNS FROM NEIGHBOURING PROPERTIES AND PREVIOUS FLOODING ISSUES DUE TO 'FALL' ON PROPERTIES. ALSO OVERLOOKING AND OVER-INTENSIFICATION OF PLOT.

**Contact Details**

Signature .....

..... Date 6<sup>TH</sup> AUGUST 2020

Name DAVID HASTHORPE (Cllr)

Address: 12 LINDSEY DRIVE HEALING DN 41 7NU

# Healing Parish Council

**1 Beach View Court, Norfolk Lane, Cleethorpes DN35 8BT**  
**Email 'healingparishcouncil@outlook.com'**

16<sup>th</sup> October 2020

Planning Dept. NELC  
 BY EMAIL

Dear Sirs,

The following applications were discussed at a meeting held of Healing Parish Council on Tuesday 13<sup>th</sup> October 2020 – the comments and observations from the Parish Council are shown as follows:

**Planning Application Reference: DM/0461/20/FUL**

**Proposal: Alterations and first floor extensions to provide living accommodation at first floor (AMENDED PLANS - HEIGHT LOWERED & OBSCURE GLAZED WINDOW)**

**Location: 16 Radcliffe Road Healing**

*Objections – amendments have not answered drainage concerns from previous application and no real alterations appear to have been made from previous plans. The Parish Council supports resident's concerns at impact upon the amenities the residents currently enjoy, concerns on drainage issues on a site shown to flood previously and would ask the application to be refused.*

Mrs. Kathy Peers  
 Clerk – Healing Parish Council



## Angela Tynan (Engie)

---

**From:** Lauren Birkwood (Engie)  
**Sent:** 14 October 2020 14:26  
**To:** Planning - IGE (ENGIE)  
**Subject:** FW: amended plans Radcliffe Road, Healing

Please put as a comment from Healing Parish Council on DM/0461/20/FUL – Thanks 😊

**Lauren Birkwood MSc**  
 Senior Town Planner  
 Development Management Services  
 Places & Communities North – NEL  
[lauren.birkwood@nelincs.gov.uk](mailto:lauren.birkwood@nelincs.gov.uk)  
 Tel. +44 (0) 147 2324226



Working in Partnership

[engie.co.uk](http://engie.co.uk)

New Oxford House, George Street  
 Grimsby, North East Lincolnshire, DN31 1HB

---

**From:** Katharine Peers <healingparishcouncil@outlook.com>  
**Sent:** 14 October 2020 12:49  
**To:** Lauren Birkwood (Engie) <Lauren.Birkwood@nelincs.gov.uk>  
**Cc:** Ian Smith <ians.healingparish@gmail.com>; ashley wright <ashleyhealingparish@gmail.com>; Cllr David Hasthorpe (NELC) <David.Hasthorpe@Nelincs.gov.uk>; Cllr - Henry Hudson (NELC) <Henry.Hudson@nelincs.gov.uk>  
**Subject:** RE: amended plans Radcliffe Road, Healing

Hi Lauren,

Yes sorry was going to email you this afternoon.

The PC is still in objection and wishes to see the application refused. The members did not see any significant amendments which would impact upon the objections raised by the Council and the neighbours and feel that the impact upon the amenities the neighbours currently have would be detrimental and also the members have serious concerns on drainage issues which appear to not have been addressed by any amendments.

KAthy

## Angela Tynan (Engie)

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**From:** Lauren Birkwood (Engie)  
**Sent:** 12 August 2020 11:07  
**To:** Planning - IGE (ENGIE)  
**Subject:** FW: DM/0461/20/FUL - 16 Radcliffe Road, Healing

Please put as a comment from the Parish on DM/0461/20/FUL – Thanks 😊

**Lauren Birkwood MSc**  
 Senior Town Planner  
 Development Management Services  
 Places & Communities North – NEL  
[lauren.birkwood@nelincs.gov.uk](mailto:lauren.birkwood@nelincs.gov.uk)  
 Tel. +44 (0) 147 2324226



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New Oxford House, George Street  
 Grimsby, North East Lincolnshire, DN31 1HB

---

**From:** Katharine Peers <healingparishcouncil@outlook.com>  
**Sent:** 12 August 2020 08:46  
**To:** Lauren Birkwood (Engie) <Lauren.Birkwood@nelincs.gov.uk>  
**Cc:** Sam smith <our.kid@ntlworld.com>; Cllr David Hasthorpe (NELC) <David.Hasthorpe@Nelincs.gov.uk>; Ian Smith <ians.healingparish@gmail.com>; ashley wright <ashleyhealingparish@gmail.com>  
**Subject:** DM/0461/20/FUL - 16 Radcliffe Road, Healing

Hi Lauren,

**Planning Application Reference: DM/0461/20/FUL**

**Proposal: Alterations and first floor extensions to provide living accommodation at first floor**

**Location: 16 Radcliffe Road Healing**

Further to some previous emails, can I advise that the PC did re-discuss this application last night and wishes to withdraw its 'no objections' comment made previously and is now in objection to the application.

The Parish Council wishes to support the 4 objections lodged from local residents against the application and would wish to see it refused. The PC is aware that the application has been 'called in' by Cllr. Hasthorpe.

The members felt they needed to strongly support residents who have concerns over flooding on the site due to history of inadequate drainage in this part of the village, where gardens have severely flooded in the past; concerns over loss of privacy to existing residents from what is basically turning a bungalow into a house where this part of the street has single storey dwellings; over intensification of this area which will have a detrimental impact upon the streetscene in this part of Radcliffe Road.

Many thanks for holding this for our comments,  
 Kathy

# Comments for Planning Application DM/0461/20/FUL

## Application Summary

Application Number; DM/0461/20/FUL

Address: 16, Radcliffe Road, Healing, Grimsby, North East Lincolnshire. DN41 7NH

Proposal: Alterations and first floor extension to existing bungalow

(Amended Plans- Height lowered and obscure glazed window)

Case Officer: Lauren Birkwood

## Customer Details

Name: Brian and Jill Eastwood

Address: 4, Radcliffe Road

## Comment details

Commenter Type: Neighbour

Stance: Customer objects to the planning application

Comment Reasons:

With reference to the amended plans, we find that the developer has not solved any of our concerns over privacy or drainage. The view from his proposed single window is still quite obviously an intrusion to our privacy and he has made no reference whatsoever to drainage issues, despite the concerns expressed previously by us and other residents.

When we moved to our property in Healing in 1996 the area was predominately bungalows, which made it a desirable residential area for us. Although our mobility is limited due to age, we are fortunate to have complete privacy in our garden and enjoy the amenities of sitting and relaxing and enjoying a meal within our garden complex without any intrusion of privacy. This proposal will severely impede on our quality of life and is a serious impingement on our privacy.

The property behind us that is adjacent to 16, Radcliffe Road, which was built in 2018, was kept to bungalow size in keeping with the area and our privacy was considerably taken into account on its design. This was fortunate, considering some disastrous planning errors that have been made in the past.

An application from 16 Radcliffe Road was submitted in 2017 [DM0473/17/FUL] for proposal for two detached properties and extensions to the existing bungalow. We offered no objection to that proposal, when it was obvious they had plenty of land to increase the bungalow size without raising its height, which would be detrimental to all the adjoining properties.

Our garden area at 4 Radcliffe Road is always water-logged during periods of heavy rainfall. In fact, in 2007, when Healing was in general, subjected to flooding, our garden was under water up to the level of 18 inches.

By the removal of so many trees from 16 Radcliffe Road in preparation for two dwellings as per planning application M/0007/19/OUT, we are concerned that flooding risk will be increased within our garden.

It is obvious that there is a substantial slope from the plot to the bungalows on Radcliffe Road.



Unless a full drainage system is incorporated in all of these building applications, including road drainage on site, the proposed development would impose a serious risk of flooding on the properties on Radcliffe Road.



# Comments for Planning Application DM/0461/20/FUL

## Application Summary

Application Number; DM/0461/20/FUL

Address: 16, Radcliffe Road, Healing, Grimsby, N.E.Lincs DN41 7NH

Proposal: Alterations and first floor extension to existing bungalow

Case Officer: Lauren Birkwood



## Customer Details

Name: Brian and Jill Eastwood

Address: 4, Radcliffe Road

## Comment details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

## Comment Reasons:

When we moved to our property in Healing in 1996 the area was predominately bungalows which made it a desirable residential area for us. Although our mobility is being limited due to age we are fortunate to have complete privacy in our garden and enjoy the amenities of sitting and relaxing and enjoying a meal within our garden complex without any intrusion of privacy. This proposal will severely impede on our quality of life and is a serious impingement on our privacy.

The property behind us that is adjacent to 16, Radcliffe Road, was built in 2018 but kept to bungalow size in keeping with the area and our privacy was considerably taken into account on its design which was fortunate considering some disastrous planning errors made.

An application from 16, Radcliffe Road was submitted in 2017 DM0473/17/FUL for proposal for 2 detached properties & extensions to the existing Bungalow.

We offered no objection to that proposal when it was obvious they had plenty of land to increase the bungalow size without raising its height which is detrimental to all the adjoining properties.

Our garden area at 4 Radcliffe Road is always water-logged during periods of heavy rainfall. In fact, in 2007 when Healing was in general subjected to flooding, our garden was under water up to the level of 18 inches. By removing so many trees from 16 Radcliffe Road in preparation for 2 dwellings as per DM/0007/19/OUT, we are concerned that flooding risk will be increased within our garden. It is obvious that there is a substantial slope from the plot to the bungalows on Radcliffe Road. Unless a full drainage system is incorporated in all of these building applications including road drainage on site then you are imposing a serious risk of flooding on the houses on Radcliffe Road.

## Comments for Planning Application DM/0461/20/FUL

### Application Summary

Application Number; DM/0461/20/FUL

Address: 16, Radcliffe Road, Healing, Grimsby, N.E.Lincs DN41 7NH

Proposal : Alterations and first floor extension to existing bungalow

Case Officer: Lauren Birkwood

### Customer Details

Name : Mr & Mrs A. Smith

Address: 6, Radcliffe Road

### Comment details

Commenter Type: Neighbour

Stance : Customer objects to the Planning Application



### Comment Reasons:

When we purchased our property in 1995, the grounds were totally private which was a major choice and we enjoyed complete privacy. The property was surrounded by bungalows at the rear, on all three sides, each bungalow being of a similar height and in keeping with the character of the area, which is a rural road of primarily bungalows.

### Loss of privacy, overlooking and overbearing

The proposed development by reason of its new height would have an unacceptably adverse impact on the amenities of the properties adjacent to the development by reason of overlooking, loss of privacy and visually overbearing impact.

The existing bungalow which is already considerably elevated in relation to our property by the grading of the land, then the close proximity combined with the new height, this would substantially overshadow our property and resulting in a serious invasion of our privacy, looking directly into our private back garden and bungalow.

In May 2017 an application to extend the size of the bungalow was submitted DM0473/17/FUL .No objection was made by ourselves as there was no intent to change the elevation of the property at this stage plus there is ample size of land to extend the property without destroying the amenities of the neighbourhood. It is worth recording also that planning approval for 2 dwellings DM/0007/19/OUT is the next stage of development on this site.

One point which is controversial is the relevance in planning terms of the loss of a view. It is often said that "there is no right to a view". Whilst this is correct in strictly legal terms, it does not mean that the loss of a view is necessarily irrelevant to planning. The enjoyment of a view could be an important part of the residential amenity of a neighbouring property, and its loss might therefore have an adverse impact on the residential amenity of that property.



## Trees & Hedges

We note within the application, the applicant has ticked the box indicating there are “no hedges or trees within falling distance of the property”. This is plainly and demonstrably incorrect. The poplar tree on the edge of the property has been measured as 30M (+/- 1M) in height and is less than 16 Metres from the applicant's property.

## Surface drainage from the property (policy 33 14-130)

The distance from the edge of my property is approx. 11 metres to the bungalow but from the garage at No 16, Radcliffe Rd there is an additional 9 metres of driveway which due to its elevated level (500mm) the 20 metre catchment area of the tarmaced driveway under heavy rain creates a stream of water that runs directly into my garden causing waterlogged areas. This is further compounded by the tarmac road which swerves by the bungalow leading to the side of the house. The elevated height at the road curve is approx. 1 metre higher than at the driveway entrance to the garage causing further water being displaced as it runs down due to the landscaping of the developed area.

The level as shown on the site map is approx. 1 metre higher at the bend to the level at boundary. If the next stage of planning application is given for 2 houses fed by this road, an enormous amount of surface water will be further added. The road requires additional drainage to eliminate flooding into the properties on Radcliffe Road, which has been an ongoing problem for a number of years, and will only be made worse by subsequent development, unless, resolved by additional drainage measures.



Picture taken from back door of our property showing bungalow 16, Radcliffe Road. The house on left of picture gives an example of the height the proposed bungalow would be but substantially nearer.

Notwithstanding the above, and without prejudice to our objections raised here, in the event that the proposed application is approved, we would ask that the outlook of the upper storey overlooking our property be sympathetic with our request for privacy and overlooking minimised as far as possible.

For example

Upper floor to have a gable brick wall and the windows be positioned on the sides.

We formally request that the council take our objections into consideration when deciding the application. We also wish to extend an invitation for a representative of the planning department to meet us at our home at any time during the site visit, to allow us to illustrate our objections at first hand.

## Comments for Planning Application DM/0461/20/FUL

### Application Summary

Application Number; DM/0461/20/FUL

Address: 16, Radcliffe Road, Healing, Grimsby, N.E.Lincs DN41 7NH

Proposal: Alterations and first floor extension to existing bungalow

Case Officer: Lauren Birkwood

### Customer Details

Name: Mr & Mrs A. Smith Address: 6, Radcliffe Road

### Comment details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

### Comment Reasons:

With reference to the amended plans, our objection still stands as we consider the proposal fails to meet our concerns on privacy or drainage issues. Any size or type of window on the first floor front elevation facing our property is a direct invasion of our privacy. The developer has also failed to address the issue of drainage despite objections made on this subject.

The proposed development, by reason of its height, regardless of the new pitch of the roof, would still have an unacceptably adverse impact on the amenities of the properties adjacent to the development by reason of overlooking, loss of privacy and visually overbearing impact. With reference to the three new submitted plans we wish to express our views based upon the misleading details supplied by the developer.

The developer appears to be misleading the planning committee by making reference to the surrounding properties (No 6 -18 12a -14b as one & half storey. These are all bungalows and the height of these has never changed and indeed the whole area was bungalows including Numbers 10-12-14 until the initial planning error allowed No 10 bungalow to be demolished and to become two detached two storey buildings. The new adjacent building, 12a The Avenue, was approved by North East Lincolnshire Council on DM/1019/16/OUT to erect one detached bungalow (not a one & a half Storey as marked on his plans)

For some bizarre reason that's totally irrelevant He also makes reference on the site plan of a survey he has conducted down Radcliffe Road that states 10 -32 are all two storeys; all completely way out of sight of the site location. He doesn't state that there are bungalows on opposite side of Radcliffe Road in view and facing his property or indeed that the whole road consists of 80% bungalows, or that this specific area of the village is predominantly bungalows.

The site map submitted shows that all the properties to the right of the unadopted road on this proposal, numbers **4, 6, 10-12, 18, 14, 16** were all bungalows, and on the opposite side of Radcliffe Road the properties are also bungalows, including the recently built building [12a The Avenue] adjacent to 16 Radcliffe Road. There were **no** two storey buildings in this area.

We purchased our property, a detached bungalow at 6, Radcliffe Road in 1995 as a retirement home, carefully choosing the location and the amenities we required. The choice was a rural setting in a village with a bungalow and landscape gardens surrounded by bungalows on all sides which afforded us complete privacy, as opposed to town homes and split houses, where you practically sit on top of your neighbours. If we had wanted to be surrounded by houses, we would have located in Grimsby among the estates there.



Bungalows can offer total privacy with more spacious gardens *providing the surrounding properties are also similar*, which was the major choice of all the residents in this area., Unfortunately, by allowing developers to abuse planning laws to change the character of this part of the village which is predominately bungalows, they are destroying the area by purchasing bungalows and erecting max. amount of houses on the land. **The developer, like others have no intention of living in these properties other than squeeze the maximum amount of profit from the development, to the detriment of existing residents**

### **Loss of privacy, overlooking and overbearing**

The developer has now added an additional block plan showing land sections and appears to be making the point that my tree (?) is providing privacy (screening) from his aspect. This does not take into consideration the fact that the tree is deciduous and has no leaves for 6 months of the year nor the fact that this affects a 25% area of my garden when in leaf, the remaining 75% of the property is entirely visible. Trees can succumb to diseases or weather damage which could require their removal or even the owner's own choice and therefore should not be treated as a permanent feature. In the developer's illustration, his view from his first floor is inhibited by the tree to under the canopy yet the view illustrated from the loft at no 6 appears to have x-ray eyes as he can view through the tree?(see photo below)

The existing bungalow which is already considerably elevated in relation to our property by the grading of the land, together with its close proximity and combined with the new height, this would substantially overshadow our property, resulting in a serious invasion of our privacy, looking directly into our private back garden and bungalow.



**Photo of the tree purposely shown on Block Plan between 16 and 6 Radcliffe Road**

**(It is evident that the proposed bungalow is clearly in full view)**

In May 2017 an application to extend the size of the bungalow was submitted DM0473/17/FUL No objection was made by ourselves as there was no intent to change the elevation of the property at this stage, plus there is ample size of land to extend the property without destroying

the amenities of the neighbourhood. It is worth recording also that planning approval for two dwellings DM/0007/19/OUT is the next stage of development on this site.

### Trees & Hedges

Although not relevant to my privacy, based on the submitted plans I have to question why the poplar tree (TR101) on the developer's property is only shown as being 18m high and with a canopy of 3.7m. dia.? (Scaled from Drawing). The drawing clearly shows again a misrepresentation of the truth with the tree a min. 25% area to the tree in No 6 garden.

In my original objection, pointing out a false application form, I made it clear that I had calculated the tree to be 30m high and less than 16m from the developer's property. I have since measured the canopy of this tree to be **12m** dia. (not 3.7m).



#### PHOTO OF COMPARISON OF TREES

(Left of photo is 6 Radcliffe tree and on the right is the developers tree TR101)

Another misleading error is that the boundary hedge is shown as 2m high when in fact it is 1.7m. High

### Surface drainage

Despite the objection raised on the last application regarding drainage, the developer has had ample opportunity to address this problem but he has totally ignored all our concerns. He has never submitted a Planning Design & Access Statement or made any references on his plans.

The distance from the edge of my property is approx. 11 metres to the bungalow but from the garage at No 16, Radcliffe Rd there is an additional 9 metres of driveway which due to its elevated level (500mm) the 20 metre catchment area of the tarmacked driveway under heavy rain creates a stream of water that runs directly into my garden causing waterlogged areas. This is further compounded by the tarmac road which swerves by the bungalow leading to the side of the house. The elevated height at the road curve is approx. one metre higher than at the driveway entrance to the garage causing further water being displaced as it runs down due to the landscaping of the developed area. If the next stage of planning application is given for two houses fed by this road, an enormous amount of surface water will be further added. The road requires **kerbing and drainage** to eliminate flooding into the properties on Radcliffe Road, which has been an ongoing problem for a number of years, and will only be made worse by subsequent development, unless, resolved by additional drainage measures. . Recent weather intensity and climate change needs to be heeded, and by adding further buildings in this area, its impact will need drastic measures to prevent a disaster for residents in this area due to the elevated slope of the area.

## Planning - IGE (ENGIE)

---

**From:** Lauren Birkwood (Engie)  
**Sent:** 31 July 2020 11:27  
**To:** Planning - IGE (ENGIE)  
**Subject:** FW: Objection to planning application

Please put as a comment on DM/0461/20/FUL – Thanks

**Lauren Birkwood MSc**  
 Senior Town Planner  
 Development Management Services  
 Places & Communities North – NEL  
[lauren.birkwood@nelincs.gov.uk](mailto:lauren.birkwood@nelincs.gov.uk)



[engie.co.uk](http://engie.co.uk)

New Oxford House, George Street  
 Grimsby, North East Lincolnshire, DN31 1HB

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**From:** Lisa  
**Sent:** 31 July 2020 11:26  
**To:** Lauren Birkwood (Engie) <Lauren.Birkwood@nelincs.gov.uk>  
**Subject:** Re: Objection to planning application

No problem.  
 10 Radcliffe Road  
 Healing

Kind regards  
 Lisa

L McCall

---

**From:** Lisa  
**Sent:** 25 July 2020 15:42  
**To:** [healingparishcouncil@outlook.com](mailto:healingparishcouncil@outlook.com)  
**Subject:** Objection to planning application

Please find below our objection to the planning application for 16 Radcliffe Road. I understand this is an agenda item planned for Tuesday 11th August.

Kind regards



Mrs L McCall

One of the primary reasons we bought our property as a family home was because of the privacy it offered from the road and neighbouring properties at both the front and rear and because the rear garden, more specifically, was not overlooked. The rear of our property and garden is currently private either due to the neighbouring properties being bungalows or due to the location of the naturally growing foliage and the outbuildings.

The proposed first floor extension to the current bungalow at No. 16 would significantly impinge on our family privacy due to the fundamental change of property type from a bungalow to a two storey building and more specifically the proposed location of the two large first floor bedroom windows at the front of the house and to a lesser extent the three smaller side windows, as shown in the plans. That is a total of five windows at the first floor level which would now overlook our property and which would fundamentally change the way we feel about and enjoy our home currently.

We have no objections to a change of layout or extensions at the ground floor level but feel the change of elevation of the property and the certain loss of privacy due to the type and location of the windows will have a detrimental effect on our family life and impact negatively on not only ours but other neighbouring properties.

As a further point, I believe when the newly built property on the adjacent plot was planned, it was not designed as a traditional two storey building so as to mitigate it's impact on the surrounding properties and that the windows above ground level were of a specific type to offset privacy concerns for those nearby properties affected. I believe similar considerations over privacy should be made when considering this application as the exact same properties are again affected by the planned building work.

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# Comments for Planning Application DM/0461/20/FUL

## Application Summary

Application Number: DM/0461/20/FUL

Address: 16 Radcliffe Road Healing Grimsby North East Lincolnshire DN41 7NH

Proposal: Alterations and first floor extensions to provide living accommodation at first floor

Case Officer: Lauren Birkwood

## Customer Details

Name: Mrs Lisa McCall

Address: 10 Radcliffe Road Healing

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: One of the primary reasons we bought our property as a family home was because of the privacy it offered from the road and neighbouring properties at both the front and rear and because the rear garden, more specifically, was not overlooked. The rear of our property and garden is currently private either due to the neighbouring properties being bungalows or due to the location of the naturally growing foliage and the outbuildings.

The proposed first floor extension to the current bungalow at No. 16 would significantly impinge on our family privacy due to the fundamental change of property type from a bungalow to a two storey building and more specifically the proposed location of the two large first floor bedroom windows at the front of the house and to a lesser extent the three smaller side windows, as shown in the plans. That is a total of five windows at the first floor level which would now overlook our property and which would fundamentally change the way we feel about and enjoy our home currently.

We have no objections to a change of layout or extensions at the ground floor level but feel the change of elevation of the property and the certain loss of privacy due to the type and location of the windows will have a detrimental effect on our family life and impact negatively on not only ours but other neighbouring properties.

As a further point, I believe when the newly built property on the adjacent plot was planned, it was not designed as a traditional two storey building so as to mitigate its impact on the surrounding properties and that the windows above ground level were of a specific type to offset privacy concerns for those nearby properties affected. I believe similar considerations over privacy should be made when considering this application as the exact same properties are again affected by the planned building work.

# Comments for Planning Application DM/0461/20/FUL

## Application Summary

Application Number: DM/0461/20/FUL

Address: 16 Radcliffe Road Healing Grimsby North East Lincolnshire DN41 7NH

Proposal: Alterations and first floor extensions to provide living accommodation at first floor  
(AMENDED PLANS - HEIGHT LOWERED & OBSCURE GLAZED WINDOW)

Case Officer: Lauren Birkwood

## Customer Details

Name: Mrs Lisa McCall

Address: 10 Radcliffe Road Healing

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: With reference to the amended plans, the first floor windows on the side of the building facing our property have been reduced from two to one, but the one repositioned large first floor window is at the same height, is still overlooking our property and would be affecting our privacy in exactly the same way as on the previous plans. For that reason our objections still stand. We feel that any window, regardless of size, on that side of the building is a privacy issue for us. It appears the roof height has been amended and not the height position of the windows themselves, so that amendment would not appear to meaningfully address our specific concerns, as the window placement and not the height of the structure itself was our specific reason for objecting.

As stated previously, we feel that if there is to be a significant change from a bungalow to a two storey property then any increase to the height of the existing bungalow should be done in a way that eliminates privacy issues for the neighbouring properties.

# Comments for Planning Application DM/0461/20/FUL

## Application Summary

Application Number: DM/0461/20/FUL

Address: 16 Radcliffe Road Healing Grimsby North East Lincolnshire DN41 7NH

Proposal: Alterations and first floor extensions to provide living accommodation at first floor

Case Officer: Lauren Birkwood

## Customer Details

Name: Mr Steven Young

Address: 12a The Avenue Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Our property is directly adjacent to the proposed development, which we designed and built it in 2018.

Whilst in the planning stage, in depth discussions were taken with the planning department and all neighbouring properties. The main considerations taken into account were loss of privacy and overshadowing.

This application shows no consideration for either of these. With the upstairs study window facing directly down into 4 windows of my property and all privacy in the garden would be gone.

I would support an extension to the property with roof windows (velux type), which would eliminate most issues.

May it also be noted, that I fully supported the application DM/007/19/OUT, for the erection of 2 properties in the grounds of 16 Radcliffe road, as these were made the consideration for the neighbouring properties,.

Whilst the planning department is considering this application, I would like to make an invitation to the planning department to my property to see the impact that would be made.

Response to Planning Application DM/0461/20/FUL

Dear Lauren,

Please find below comments in regard to the above application;

Firstly, is this application to be considered in conjunction with the outline application, DM/0007/19/OUT for the two dwellings, granted outline approval on the same site last year?

As the red line covers the entire plot, I feel these proposed dwellings should be shown on this new application so the whole development can be considered accordingly. If this application is to supersede the outline application that should also be noted on the plans/application. As an agent working regularly with the local planning department, I feel sure this is something I would be asked for if the red line surrounded the entire site.

The application states that there are no trees near/on the site and the tree officer has made no comment. This is unusual as the tree officer is aware that all the trees on the site were pulled down earlier this year without permission and to my knowledge neither trees nor enforcement have followed this up.

Development of the bungalow on this site does make sense but as with all the other recently approved applications, including the outline application, the design should acknowledge its surroundings and be similarly designed with rooms in the roof so as to avoid the overlooking of existing dwellings.

The varying ground levels in the area and the current design, mean that the bungalow is on higher ground and therefore overlooks the gardens of all its immediate neighbor's, removing their privacy, it would also look directly into the homes of 12a & 14 The Avenue, no's 4, 6, 8 and possibly 10 Radcliffe Road. The proposed study, which may easily become a bedroom, is opposite our kitchen and bedroom window. We may be at a distance for this not to be considered a planning issue but it adds to the overall lack of privacy and lack of thought that seems to have gone into this application.

In conclusion, we would ask for clarification of the site development and whether both applications are still proposed. We do not oppose in principle the renovation of the property as long as it is clear how the site as a whole is proposed to be developed and that careful and thoughtful design is applied to the property to be sympathetic to its surroundings and the fact it is surrounded, specifically taking privacy into consideration. A larger bungalow or rooms within the roof space would be more suitable to this location. We welcome your response to these points/questions and would encourage a site visit both on & surrounding the site.

Kindest Regards

Helen Lavric Robinson & Glynn Robinson  
14 The Avenue

Response to Planning Application DM/0461/20/FUL

Dear Lauren,

Please find below comments in regard to the above application;

Firstly, is this application to be considered in conjunction with the outline application, DM/0007/19/OUT for the two dwellings, granted outline approval on the same site last year?

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Kindest Regards

Helen Lavric Robinson & Glynn Robinson  
14 The Avenue

**PLANNING COMMITTEE - 4th November 2020**

**ITEM: 6**                      **RECOMMENDATION: Approval with Conditions**

**APPLICATION No: DM/0360/20/FUL**

**APPLICATION TYPE: Full Application**

**APPLICATION SITE: Garages, Bradford Avenue, Cleethorpes, North East Lincolnshire,**

**PROPOSAL: Demolish existing 24 garages and erect 4 dwellings with associated works**

**APPLICANT:**

Mr And Mrs R Burnett  
24 The Point  
Sea View Street  
Cleethorpes  
DN35 8EU

**AGENT:**

Keir Architecture Ltd - Mr Keir Taylor  
10A Abbey Road  
Ulceby  
North Lincolnshire  
DN39 6TJ

**DEPOSITED: 19th May 2020**

**ACCEPTED: 27th May 2020**

**TARGET DATE: 22nd July 2020**

**PUBLICITY EXPIRY: 5th July 2020**

**AGREED EXTENSION OF TIME DATE:**

**CONSULTATION EXPIRY: 20th June 2020**

**CASE OFFICER: Richard Limmer**

**PROPOSAL**

The proposal is to demolish the existing garages and erect a block of four town houses with associated parking facilities, gardens and bin storage. The proposed development follows the same form as the previously approved scheme in 2015, DM/1092/14/FUL.

This application has been presented to Planning Committee as there is an Officer recommendation for approval and there are four objections from neighbours.

**SITE**

The site is an approximate 0.072ha rectangular site at the eastern end of Bradford



Avenue at Cleethorpes adjacent to the Bradford Avenue Conservation Area. It is presently occupied by 24 single storey lock-up garages. To the north is a row of two storey dwellings dating from circa 1840. To the east are mock- Tudor terrace dwellings constructed in the early 20th Century. Much of Bradford Avenue is within a Conservation Area, including the properties to the north and west. However, the application site itself is just outside the boundary. To the east are the Eastshore Apartments, a late 20th Century five storey block of apartments fronting Kingsway. To the south are alleyways and gardens serving, primarily, Kingsway properties.

## **RELEVANT PLANNING HISTORY**

DM/0779/16/FUL - Erect 4 town houses with 4 flats above - refused allowed at appeal  
DM/1092/14/FUL - Erect 4 dwellings (resubmission of DC/793/11/HAV) - Approved  
DM/0153/14/DEM - prior notification for demolition of garages - approved  
DC/793/11/HAV - erect 4 dwellings - approved  
DC/865/10/HAV - erect 12 dwelling units - refused & dismissed at appeal  
DC/469/09/HAV - erect 13 dwelling units - refused & dismissed at appeal

## **RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS**

### National Planning Policy Framework (February 2019)

NPPF5 - Delivering a sufficient supply of homes  
NPPF14 - Climate, flooding & coastal change  
NPPF16 - Conserv. & enhance the historic environ.

### North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO5 - Development boundaries  
PO22 - Good design in new developments  
PO33 - Flood risk  
PO34 - Water management  
PO38 - Parking  
PO39 - Conserve and enhance historic environ  
PO42 - Landscape

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

## **REPRESENTATIONS RECEIVED**

Drainage - No objections, condition for surface water drainage.

Environmental Health - No objections, conditions for construction method statement and demolition statement.

Highways Officer - No objections, conditions for details.

Drainage Board - No objections.

Environment Agency - No comments.

Heritage Officer - No objections, conditions required for final details and materials

### **Neighbours**

The following properties have objected to the proposed development with concerns over increased number of cars parking in the street, the over intensive nature of the development, potential overlooking and loss of privacy;

11 Bradford Avenue  
72B Kingsway  
73 Kingsway  
72C Kingsway  
75 Kingsway

## **APPRAISAL**

### **Planning Considerations**

1. Principle of Development
2. Impact on Neighbours
3. Impact on the Character of the Area
5. Flood Risk
6. Other Matters

1. Principle of Development

The site is located within the defined settlement boundary for Cleethorpes on the NELLP. The NELLP seeks to improve the character and general appearance of the area, this can

be achieved through the redevelopment of redundant or derelict sites. Policy 5 seeks to ensure that development proposals within the defined settlement boundaries are appropriate and do not have undue impacts on neighbouring land uses. These matters are discussed in the report below.

It should also be noted that the site has an extensive planning history, this includes planning application DM/1092/14/FUL, identical to this proposal, which was approved. There is also DM/0779/16/FUL which was for 4 town houses with 4 flats above, allowed on appeal.

It is therefore considered that the proposed development is acceptable in principle.

## 2. Impact on Neighbours

The impacts on the neighbouring properties were considered in detail during the previous applications and it was concluded that there would not be an unduly detrimental impact on the neighbours residential amenities. Particular regard was given to the Tudor Guest House (no.11 Bradford Avenue) as well as numbers 2-8 Bradford Avenue and those on Kingsway. The mass and design of the proposed development remains the same as the previous approval. Due to position and orientation in the site there will be no adverse overlooking or massing issues. It is therefore considered that the proposed development would not have a detrimental impact on the neighbouring properties residential amenities in accordance with Policy 5 of the NELLP.

There have been comments received from neighbours on Kingsway and Eastbay Flats objecting to the proposed development. The objections relate mainly to access and parking. These neighbours benefit from rear parking areas which are served by a '10ft' access to the side of the development site. The proposed development does not restrict this access or reduce these neighbours parking areas. Indeed a narrow landscaping strip would be provided to the side of the access which will help reduce potential conflict between pedestrians and vehicles. It is therefore considered that the proposed development complies with Policies 5 and 38 of the NELLP.

## 3. Impact on the Character of the Area

The site is outside of, but immediately adjacent to the Bradford Avenue Conservation Area. The Conservation Area boundaries abut the site to the north and west. National legislation places a duty on the Council to pay special attention to the desirability of preserving or enhancing the character or appearance of the conservation area.

Policy 39 of the NELLP is relevant to development within conservation areas, it states that regard is to be had to views into and out of a Conservation Area. It does therefore carry weight in consideration of this edge of conservation area application.

This latest application is accompanied by a detailed visual and historical contextual analysis of the site. It shows how the scaling, mass and architectural details of the

adjoining mock-Tudor Edwardian terrace to the west have been picked up and emulated in the latest design. The proposed buildings match the roof eaves and ridge height of adjoining properties, providing the new buildings with similar proportions, scale and massing. Aspects of the architectural detailing, such as matching symmetry, facing gables, bay windows, and fenestration patterns, have been considered and replicated within the design of the new buildings.

However, the designer has opted not to create a pastiche of the adjoining buildings but has instead attempted to reinterpret the features in a contemporary fashion using modern materials. It is considered the result is acceptable, showing a sensitively designed and scaled building to compliment the adjacent conservation area. The building is not expected to be visually intrusive or discordant within the street scene. When considering the current brick garages on the site, it is considered this replacement would preserve and significantly enhance the setting of the conservation area.

It is essential that appropriate materials are used in the development and conditions to require samples to be agreed with the Council are therefore recommended. It is also considered appropriate to remove permitted development rights that would allow alterations and extensions, including roof extensions and porches, without planning permission.

It is therefore considered that the proposal accords with the policies of the NELLP in particular policies 5, 22 and 39.

#### 4. Highways

It is noted that there has been significant concerns raised by local residents regarding the potential impact of the development on the parking provision in the area. The garages that are to be demolished have not been in use for a number of years now. There is significant pressure for on street parking along Bradford Avenue and the surrounding streets. However, this proposal would provide 1 off street parking space per unit.

The location of the development must also be taken into account. The site sits on the edge of Cleethorpes town centre and only a few minutes walk from Kingsway where an extensive bus service can be accessed. The site is located in a sustainable location with good access to services, facilities and public transport. Moreover it must be acknowledged that the number of units is now less than that allowed under appeal. The Highways Officer has reviewed the proposed development and have not raised any concerns with regard to highway safety or amenity. It is considered that the proposed development would not cause any undue harm to the parking arrangements, highway safety or amenity in the local area in accordance with Policies 5 and 38 of the NELLP.

#### 5. Flood Risk

The site is located within flood zone 1 following a successful flood map challenge in 2008 the Environment Agency Flood Maps were updated in 2010 to make the site within flood

zone 1. A new review of evidence in 2014 has indicated the area should be reclassified as Flood Zone 3, which is where the site is shown currently. However, the flood zones in this area remain under investigation and the application has to be determined against current advice and to this end the Environment Agency have confirmed that based on the information available on flood risk to the site, they have no objection to the application and do not request any specific mitigation for this proposal. Accordingly it is therefore considered to be in accordance with Policies 5 and 33 of the NELLP.

The Drainage Officer has commented on the proposed development noting the requirement for the development to follow the drainage hierarchy and to create as sustainable system as possible. This can be achieved through the use of a suitable condition. The development would therefore be in accordance with Policies 33 and 34 of the NELLP

## **6. Other Matters**

It is noted that neighbours have raised concerns over the potential impact through the construction phase of the development. The Environmental Health Team have recommended a condition for a Construction Management Plan. This will ensure that the neighbours amenities are protected through the construction phase.

The Environmental Health Team have also noted the requirement for a Demolition Method Statement, this is required to protect the neighbouring properties through the demolition of the existing garages on the site.

Whilst there is limited scope for landscaping on the site, the development should be afforded some landscaping to help soften it within the street scene. This approach is supported by the Tree Officer.

## **CONCLUSION**

In conclusion, it is considered that the proposed development would not offer any significant harm to the neighbouring properties residential amenities, the character and appearance of the area or the adjacent Conservation Area and is acceptable in highway safety terms. The development therefore accords with Policies 5, 22, 33, 34, 38, 39 and 42 of the NELLP and is recommended for approval.

## **RECOMMENDATION**

### **Approval with Conditions**

#### **(1) Condition**

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

The development shall be carried out in accordance with the following plans:

202004-01 Site location plan  
202004-02A Existing block plan  
202004-03A Existing plans  
202004-04A Existing site levels  
202004-05A Proposed block plan  
202004-06B Proposed elevations  
202004-07A Proposed ground floor plan  
202004-08A Proposed first floor plan  
202004-09A Proposed second floor plan  
202004-10A Proposed roof plan  
202004-11A Proposed site levels

Reason

For the avoidance of doubt and in the interests of proper planning.

(3) Condition

Development shall not begin until details of all external materials to be used in construction of the buildings have been submitted to and approved in writing by the Local Planning Authority. The development shall then proceed in accordance with the approved details unless otherwise approved in writing by the Local Planning Authority.

Reason

To ensure the development has an acceptable external appearance and is in keeping with the visual amenity and character of the area in accordance with Policies 22 and 39 of the North East Lincolnshire Local Plan 2013-2032.

(4) Conditions

Prior to the commencement of works, cross sections, profiles and details (including all sills and headers) at a scale of 1:10 of the proposed windows, doors, roof lights parapets, eaves and verges, shall be submitted to and agreed in writing with the Local Planning Authority. The development shall be carried out in accordance with the details approved.

Reason

To ensure a satisfactory appearance in order to protect the character and appearance of the area and adjacent conservation area, in accordance with Policies 22 and 39 of the North East Lincolnshire Local Plan 2013-2032.

(5) Condition

Notwithstanding the Town and Country Planning (General Permitted Development) Order 2015 (or any statutory amendment thereto), no development under Schedule 2 Part 1, Class A, B, C, D, E, F, G shall be permitted within the curtilage of the dwellings.

Reason

To protect residential amenity and the visual character of the area in accordance with Policies 5, 22 and 39 of the North East Lincolnshire Local Plan 2013-2032.

(6) Condition

Prior to works commencing on the approved development a construction management plan shall be submitted to and approved in writing the local planning authority. The development shall then proceed in accordance with the approved details. The construction management plan shall include the following:

- Demolition method statement;
- Working hours;
- Dust reduction measures;
- Noise reduction measures;
- Contractor parking area;
- Visitor parking area;
- Delivery area;
- Hours for deliveries; and
- Wheel cleaning;

Reason

To protect the amenities of the neighbouring residents in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(7) Condition

No development shall commence until a scheme for the provision of surface water drainage has been submitted to and approved in writing by the Local Planning Authority. The development shall then proceed in accordance with the approved details and be implemented prior to the occupation of any residential unit.

Reason

To prevent an increased risk of flooding by ensuring the provision of a satisfactory means of surface water disposal in accordance with Policies 5 and 33 of the North East Lincolnshire Local Plan 2013-2032.

(8) Condition

No development shall commence until a scheme of landscaping showing the details of the number, species, sizes and planting positions of all trees and shrubs to be planted has been submitted and approved in writing by the Local Planning Authority. This shall include cross-sectional drawings showing the above and below ground construction of the tree planting areas.

The scheme of landscaping and tree planting shall be carried out in its entirety within 12 months, beginning with the date on which development commences, or within such longer period as may be first agreed in writing with the Local Planning Authority. All planting shall be adequately maintained for the period of 5 years, beginning with the date of completion of the scheme and during that period all losses shall be replaced during the next planting season.

Reason

To ensure a satisfactory appearance and setting for the approved development in the interests of local amenity and in accordance with Policy 5, 22 and 42 of the North East Lincolnshire Local Plan 2013-2032.

(9) Condition

Before development commences details of the type and use of the opaque glass as shown on the approved elevation plan 201603-09 A shall be submitted to and approved in writing by the Local Planning Authority. The development shall be completed in accordance with the detail approved prior to the occupation of any residential unit and shall be so retained at all times thereafter.

Reason

In the interests of residential amenity to accord to Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(10) Condition

Development shall not begin until details showing the location, layout, design and method of construction of the new and altered vehicular access, reconstructed footway, parking and manoeuvring space, including any necessary piping or culverting of any ditch or watercourse, have been submitted to and approved in writing by the Local Planning Authority, and before the development hereby permitted is brought into use the vehicular access, parking and manoeuvring space shall be constructed in accordance with those approved details and shall thereafter be so retained.

Reason

In the interests of highway safety and amenity in accordance with Policy 5 and 38 of the North East Lincolnshire Local Plan 2013-2032.



(11) Condition

Prior to the commencement of any demolition works a detailed method statement outlining the method of demolition and measures to prevent pollution to the environment and nuisance from noise and dust to surrounding occupiers shall be submitted in writing to the local authority for its written approval. Demolition shall only thereafter be undertaken in accordance with the approved method statement.

Reason

In the interests of public health and to protect the amenities of nearby residents in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(12) Condition

If, during development, contamination not previously considered is identified, the Local Planning Authority shall be notified immediately and no further work carried out until a method statement detailing a scheme for dealing with the suspect contamination has been submitted to and agreed in writing with the Local Planning Authority. Remediation shall be carried out in accordance with the details approved. If no contamination is found during the course of development, a written statement confirming it must be submitted to the Local Planning Authority upon completion of works.

Reason

To ensure any previously unconsidered contamination is dealt with appropriately in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

## **Informatives**

1 Informative:

Where there may be the possibility of asbestos in the buildings the applicant, developer, and future occupier are reminded of the duties under Control of Asbestos Regulations 2012, or the more general duties under the Health and Safety at Work Act 1974 in relation to any presence of asbestos in the building(s). The Health and Safety Executive can be contacted for further advice and a copy of the Approved Code of Practice is available from their website at <http://www.hse.gov.uk/pubns/books/l143.htm>.

2 Informative

Please note that at least six months in advance of work commencing on site you are required to contact the Highway Management Team with respect to the formation of a vehicular access within the existing highway. (Tel: 01472 324431)

If the footway or carriageway is damaged as a consequence of any excavation or any other operations relating to the development, the Highway Authority may make good the damage and recover expenses reasonably incurred. You are required to contact the Highway Management Team at least 4 weeks prior to commencement of works to arrange for a highway pre-condition inspection (Tel: 01472 324431)

### 3 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policies 5, 22, 33, 34, 38, 39 and 42.

### 4 Added Value Statement

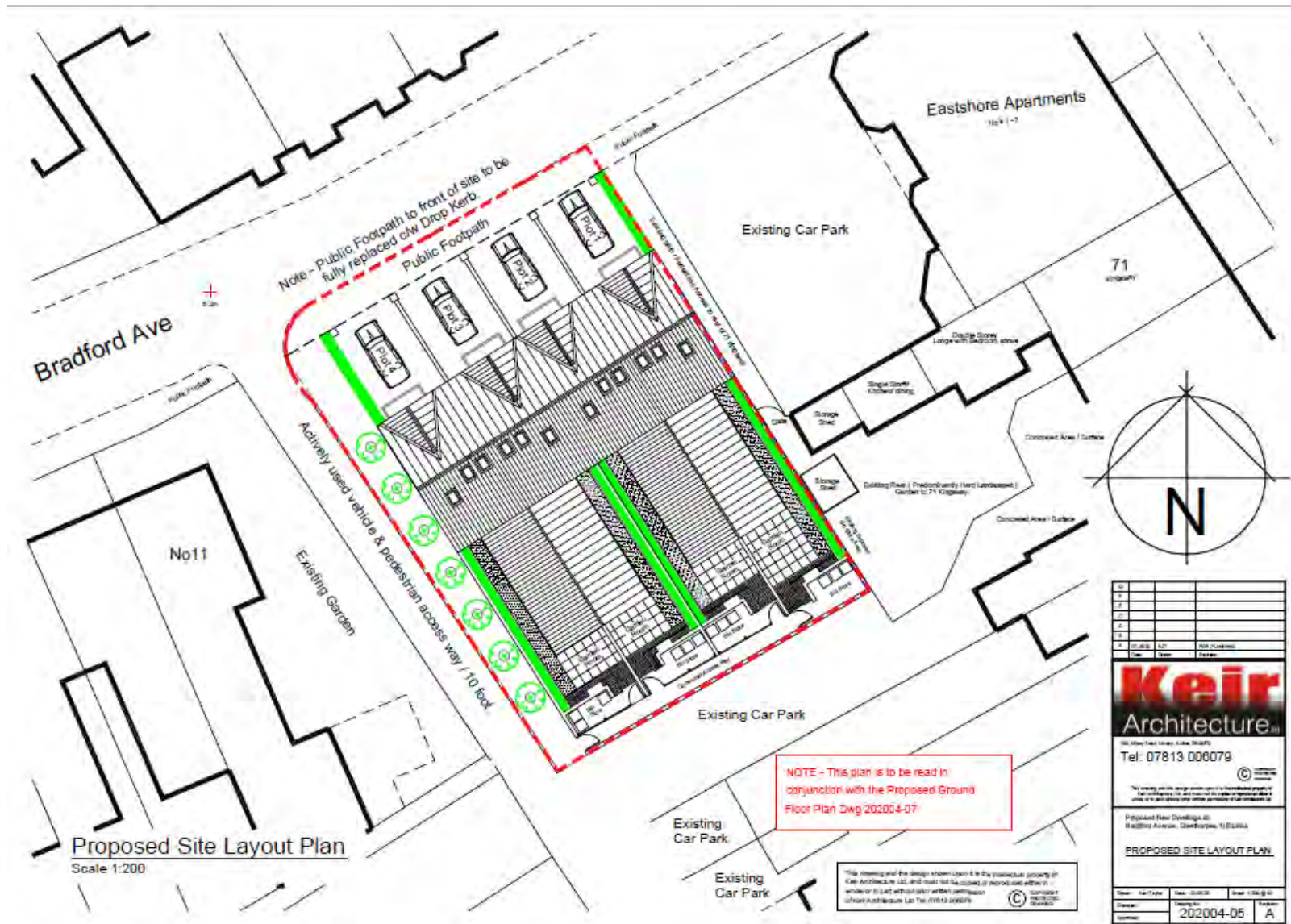
#### Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by negotiating on issues as they arose during the planning process.

## DM/0360/20/FUL – GARAGES, BRADFORD AVENUE, CLEETHORPES



## DM/0360/20/FUL – GARAGES, BRADFORD AVENUE, CLEETHORPES



# Comments for Planning Application DM/0360/20/FUL

## Application Summary

Application Number: DM/0360/20/FUL

Address: Garages Bradford Avenue Cleethorpes North East Lincolnshire

Proposal: Demolish existing 24 garages and erect 4 dwellings with associated works

Case Officer: Richard Limmer

## Customer Details

Name: Mr Nicholas Ross

Address: 11 Bradford Avenue Cleethorpes

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: We object to the planning proposal due to the over mass design of the application.

Parking as always been a concern with the narrowing of the road at this end of Bradford Avenue. Making access and egress for Kingsway residence difficult. Visitors to the area constantly park over driveways that cause issues with residents accessing driveways where applicable. The planning has only allocated one parking bay per dwelling. Our concern will be that the majority of households have more than one vehicle, causing upset to an already congested avenue. Making it nearly impossible for some emergency services to gain access.

Kerr architects have used images from over 10 years ago in the access statement showing fewer cars parked on the street. Giving the appearance Bradford Avenue hasn't got a parking problem.

The environmental report is a cause of serious concern, therefore this application should not be granted until the outcome into the investigation from the environmental agency into the flood risk category grading.

Could the planting of these trees along the perimeter of the building adjacent to our property cause damage to the access road and our garden/property?

As we are a business I worry about dirt, dust and noise levels from machinery having an impact on our guest experience. We also worry customers will be distracted from staying here resulting in financial losses.

During demolition and the build phase, where are all the construction vehicles going to park? Lorries over an eight ton will struggle to gain access onto Bradford Avenue.

Sincerely

Mr & Mrs Ross  
Cloves B&B  
11 Bradford Avenue  
Cleethorpes  
DN35 0BB

# Comments for Planning Application DM/0360/20/FUL

## Application Summary

Application Number: DM/0360/20/FUL

Address: Garages Bradford Avenue Cleethorpes North East Lincolnshire

Proposal: Demolish existing 24 garages and erect 4 dwellings with associated works

Case Officer: Richard Limmer

## Customer Details

Name: Mr Carl Fanthorpe

Address: Apartment 72b Kingsway Cleethorpes

## Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: We object to the application for the following reasons

It is difficult enough now to get out of our 10ft as people park across the entrance, I believe it will be worse when the houses are built as they will probably have 2 cars which will mean that they will park on their own fronts, it is proposed to reinstate the footpath, if so they will need to park on the road unless it has double yellow lines, this will completely block Bradford Avenue, I did this when I met Richard Limmer.

We also have a hotel which has a lot of traffic using the 10 ft for access, it is a nightmare to park down Bradford Avenue already, where will the extra cars be able to park.

Also where will we put in excess of 10 wheelie bins and recycle boxes every Tuesday.

I object to this proposal

Regards

Carl Fanthorpe

# Comments for Planning Application DM/0360/20/FUL

## Application Summary

Application Number: DM/0360/20/FUL

Address: Garages Bradford Avenue Cleethorpes North East Lincolnshire

Proposal: Demolish existing 24 garages and erect 4 dwellings with associated works

Case Officer: Richard Limmer

## Customer Details

Name: Miss Sophie Sleight

Address: 73 kingsway Cleethorpes

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I would like to object to this build . For the following reasons .

\* Access to the back of my property is already an issue when cars are parked on Bradford Avenue . I can not see how this will get better with the new builds . In fact from the planning permission it looks worse . These are 4 bedded properties and if we assume each house hold had even two cars this would cause a huge problem for the area .

\* The buildings will take away lighting and privacy to my home . Which in turn will devalue my property .

\* Where would we put our bins? I fear this would cause neighbour disagreements from the off.

\* I also worry about the trees that will be planted . Again this will take away light and who will maintain the trees? We again already have issues with weeds and over growth .

Regards

Sophie Sleight



**Carol Pedersen (Engie)**

---

**From:** neiljakes  
**Sent:** 18 June 2020 04:34  
**To:** Planning - IGE (ENGIE)  
**Subject:** DM/0360/20/FUL

Neil jakins 72c kingsway Cleethorpes DN350AB object to the garages on Bradford avenue being demolished as this may block right of way to the rear of 72c kingsway parking

Regards Neil jakins

# Comments for Planning Application DM/0360/20/FUL

## Application Summary

Application Number: DM/0360/20/FUL

Address: Garages Bradford Avenue Cleethorpes North East Lincolnshire

Proposal: Demolish existing 24 garages and erect 4 dwellings with associated works

Case Officer: Richard Limmer

## Customer Details

Name: Miss Marie-Therese Shennan

Address: 'Pleasant View' 75 Kingsway Cleethorpes

## Comment Details

Commenter Type: Neighbour

Stance: Customer made comments in support of the Planning Application

Comment Reasons:

Comment: I will be glad to see this site developed although I have the following objections to the current plans:

1) Although they allow a carpark space per dwelling, many households have 2 cars which will increase the demand for parking in Bradford Avenue and hinder our access in & out of the SW access road to my property & neighbouring Kingsway properties.

This access road is used for cars and also traders trucks/vans when work is being done on our properties.

Also, it is the main access to the MJ hotel carpark and not enough thought has been given to our right of way.

2) I object to the planting of the Cherry Trees along the SW perimeter as there is no guarantee the future residents will annually trim these. This will result in the roots growing under the SW hardcore access road, which adversely will affect its condition.

Also I have the following questions:

a) The site currently slopes. Is it to be levelled out. Please clarify what measures are being taken to ensure unnecessary flooding of the road, pavement, SW access road & rear of the site.

b) Will the roadside bin collection area be big enough for 10 bins from the Kingsway properties?

I understand a site visit is to take place on Tuesday 09.06.20 and I would like to meet your representatives.

Thank you.

**PLANNING COMMITTEE - 4th November 2020**

**ITEM: 7**                      **RECOMMENDATION: Approval with Conditions**

**APPLICATION No: DM/0308/20/FUL**

**APPLICATION TYPE: Full Application**

**APPLICATION SITE: Tynedale, Cheapside, Waltham, Grimsby, North East Lincolnshire, DN37 0HU**

**PROPOSAL: Variation of condition 2 (Approved Plans) following DM/0420/16/FUL (Demolish existing dwelling and erect 5 detached houses and one pair of semi-detached houses to include garaging, landscaping & access) to amend site layout, the design of plots 4, 5 and 6 including dormer windows and rooflights (amended roof designs on plots 4 and 6 - September 2020)**

**APPLICANT:**

Mr Paul Glover  
Tynedale  
Cheapside  
Waltham  
DN37 0HU

**AGENT:**

Simon Coyne  
CDC Architecture Limited  
35 Louth Road  
Scartho  
Grimsby  
North East Lincolnshire  
DN33 2HP

**DEPOSITED: 28th April 2020**

**ACCEPTED: 29th April 2020**

**TARGET DATE: 24th June 2020**

**PUBLICITY EXPIRY: 21st September 2020**

**AGREED EXTENSION OF TIME DATE:**

**CONSULTATION EXPIRY: 25th May 2020**

**CASE OFFICER: Richard Limmer**

**PROPOSAL**

The proposal is to vary the approved plans under DM/0420/16/FUL in relation to plots 4, 5 and 6. The proposals include:

Plot 4 - two front dormer windows, 1 front rooflight and 2 rear rooflights to provide rooms in the roof space, raise the ridge by 600mm. The plot is also slightly repositioned.

Plot 5 - change from hipped roof to gable, two front dormer windows, 1 front rooflight and 2 rear rooflights to provide rooms in the roof space, the ridge is also raised by 500mm. The plot is also slightly repositioned and changes to the elevations.

Plot 6 - change from hipped roof to gable, two front roof lights, rear dormer window, 3 roof lights and raise the ridge by 600mm.

This application has been brought to Planning Committee due to an objection from Waltham Parish Council.

## **SITE**

The site is located off Cheapside in Waltham. The site was formerly a single bungalow with large grounds. Following the approval of planning permission in 2016 the bungalow was demolished and the site is now being redeveloped, 3 of the 7 dwellings have been completed and 2 more are nearly completion.

## **RELEVANT PLANNING HISTORY**

DM/0420/16/FUL - Demolish the existing bungalow and erect 7 dwellings - approved

DM/0235/17/CND - discharge of conditions attached to DM/0420/16/FUL - approved

## **RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS**

National Planning Policy Framework (February 2019)

NPPF5 - Delivering a sufficient supply of homes

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO5 - Development boundaries

PO22 - Good design in new developments

PO33 - Flood risk

PO34 - Water management

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

## **REPRESENTATIONS RECEIVED**

Drainage Officer - No comments

Highways Officer - No comments

Heritage Officer - No comments

Trees Officer - No comments

Environmental Health Officer - No comments

Waltham Parish Council - Object to the proposal with concerns due to over development of the site

Neighbours

Mount Royal, Old Nurseries- object to the proposed development with concerns regarding drainage, bin storage, loss of privacy, overlooking and a lack of need for housing.

## **APPRAISAL**

Material Planning Considerations

1. Principle of Development
2. Impact on Neighbours
3. Other Matters

### **1. Principle of Development**

The principle of residential development was established through the full planning permission DM/0420/16/FUL for the erection of 7 dwelling which has been implemented. This application seeks to vary this approval with changes to plots 4, 5 and 6. The proposed changes are not matters of principle and therefore the principle of development remains established by the original planning permission.

It is noted that the Parish Council have objected to the proposed amendments with concerns that it represents an over development of the site. The proposal does not increase the number of properties in the site or the overall footprint of the development.

### **2. Impact on Neighbours and Area Character**

It is noted that the neighbouring properties at Mount Royal and The Old Nurseries have objected to the proposed development with concerns due to overlooking and loss of

privacy from the proposed dormer windows.

Policy 5 of the NELLP requires development proposals to consider the impact on neighbouring land uses as a result of the proposed development. a key element of the proposal is the introduction of dormer windows into the front roof slopes of plots 4 and 5, these dormer windows would serve bedrooms. The proposed dormer windows would be visible to the neighbouring properties and in particular Mount Royal and The Old Nurseries, however the separation distance from the proposed dormers to the site boundaries and then the actual neighbours properties is significant. Moreover the properties already include first floor windows which face the neighbours. It is therefore considered that there would not be an undue impact on their residential amenities due to massing or adverse overlooking. Dormers will look towards to those existing neighbours and their gardens but as stated the separation is such that the impact will not be adverse.

Other additional windows on the proposed plans do not overlook the neighbouring properties but instead are focused within the site. The roof lights proposed would also not unduly affect the neighbouring properties as they look to the open countryside.

The overall changes to the design and appearance and their positions within the site may be noticeable to the neighbouring properties but the changes are not fundamental to the scheme as a whole. Furthermore they would not change the impact on the wider character of the area. There is no issue in relation to trees in respect to these changes.

Having regard to the above it is considered that the proposal is acceptable under Local Plan Policy 5 and 22 of the North East Lincolnshire Local Plan 2018.

### 3. Other Matters

The conditions attached to DM/0420/16/FUL and subsequently discharged under DM/0235/17/CND remain relevant to this amendment and the development as a whole and should be reaffirmed through conditions on this permission.

## **CONCLUSION**

In conclusion, it is considered that the proposed development would not harm the amenities of the neighbouring properties or the character and appearance of the area in accordance with Policy 5 and 22 of the NELLP and is recommended for approval.

## **RECOMMENDATION**

### **Approval with Conditions**

(1) Condition

The development shall be carried out in accordance with the following plans:

16-500-100H - site location plan and block plan  
16-500-202D - plot 4 plans and elevations  
16-500-203C - plot 5 plans and elevations  
16-500-204H - plot 6 plans and elevations

and the following plans approved under DM/0420/16/FUL:

1567/001  
EWE/1987/01 Rev A - proposed drainage plan  
16-500-200 Rev A - Plots 1 and 2 plans and elevations  
16-500-201 Rev A - plot 3 plans and elevations  
16-500-205 Rev A - plot 7 plans and elevations  
16-500-206 Rev A - garage plans and elevations  
16-500-101 - boundary treatments

Reason

For the avoidance of doubt and in the interests of proper planning.

(2) Condition

The development shall be built out in accordance with the surface water drainage details approved under DM/0235/17/CND.

Reason

In the interests of sustainable drainage and flood risk in accordance with Policy 33 of the North East Lincolnshire Local Plan 2013-2032.

(3) Condition

The development shall be built out in accordance with the highway construction details approved under DM/0235/17/CND.

Reason

In the interests of sustainable drainage and flood risk in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(4) Condition

The development shall be built out in accordance with the Construction Management Plan approved under DM/0235/17/CND.

Reason

In the interests of sustainable drainage and flood risk in accordance with Policy 5 of the



North East Lincolnshire Local Plan 2013-2032.

(5) Condition

The development shall be built out in accordance with the external construction materials approved under DM/0235/17/CND.

Reason

In the interests of sustainable drainage and flood risk in accordance with Policies 5 and 22 of the North East Lincolnshire Local Plan 2013-2032.

(6) Condition

The development shall proceed in accordance with the details and recommendations set out in the Arboricultural Report dated April 2016 as supplied in DM/0420/16/FUL.

Reason

In the interests of tree protection and landscape importance in accordance with Policy 42 of the North East Lincolnshire Local Plan 2013-2032.

(7) Condition

The development shall be built out in accordance with the landscaping scheme approved under DM/0235/17/CND.

Reason

To protect the character and appearance of the area in accordance with Policy 42 of the North East Lincolnshire Local Plan 2013-2032.

(8) Condition

The scheme of landscaping and tree planting required through condition 7 of this approval shall be completed within a period of 12 months, beginning with the date on which development began or within such longer period as may be first agreed in writing by the Local Planning Authority. All planting shall be adequately maintained for 5 years, beginning with the date of completion of the scheme and during that period all losses shall be replaced during the next planting season.

Reason

To ensure a satisfactory appearance and setting for the development and continued maintenance of the approved landscaping in the interests of local amenity in accordance with Policy 42 of the North East Lincolnshire Local Plan 2013-2032

## **Informatives**

### **1 Reason for Approval**

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policies 5, 22, 33 and 42.

### **2 Added Value Statement**

Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by negotiating on issues as they arose during the application process.

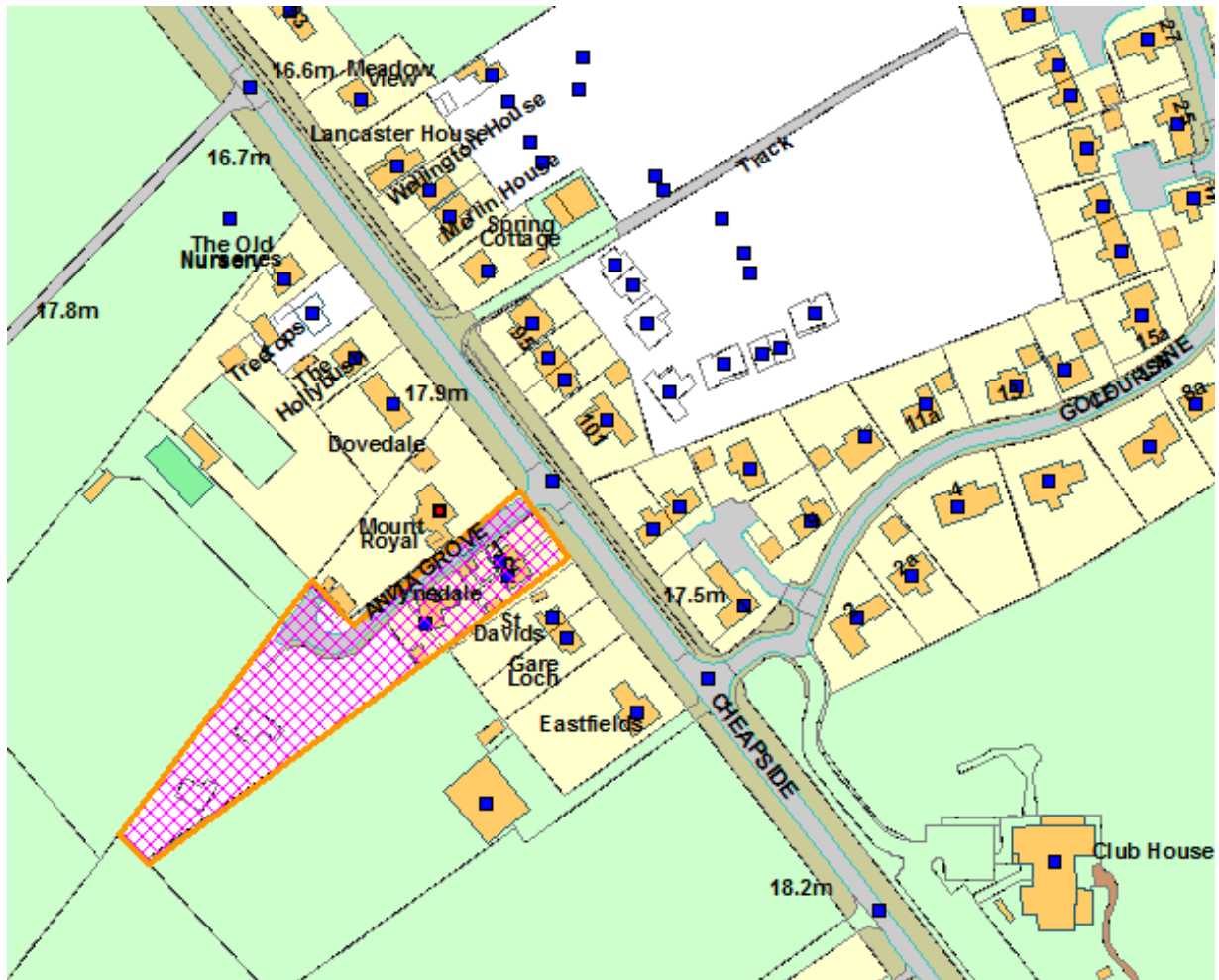
### **3 Informative**

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 325959).

### **4 Informative**

This application will require the creation of new postal addresses. You are advised to contact the Street Naming & Numbering Team on 01472 323579 or via email at [snn@nelincs.gov.uk](mailto:snn@nelincs.gov.uk) to discuss the creation of new addresses.

DM/0308/20/FUL – TYNEDALE, CHEAPSIDE, WALTHAM



## DM/0308/20/FUL – TYNEDALE, CHEAPSIDE, WALTHAM



## Angela Tynan (Engie)

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**From:** Waltham Parish Council <walthampc@btconnect.com>  
**Sent:** 03 June 2020 12:36  
**To:** Planning - IGE (ENGIE)  
**Subject:** Planning Comments from Waltham Parish Council  
**Attachments:** Planning June.docx

Good morning

Please find attached planning comments from our Waltham Parish Council Meeting last night.

Kind Regards

Tanya

Tanya Kuzemczak  
 Clerk to the Parish Council

Waltham Parish Council  
 Parish Office  
 Kirkgate Car Park  
 Kirkgate, Waltham  
 Grimsby  
 North East Lincolnshire,  
 DN37 0LS

[www.walthamparishcouncil.org.uk](http://www.walthamparishcouncil.org.uk)

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 Scanned by Anti Virus Software.

Planning Application Reference: DM/0308/20/FUL Proposal: Variation of condition 2 (Approved Plans) following DM/0420/16/FUL (Demolish existing dwelling and erect 5 detached houses and one pair of semidetached houses to include garaging, landscaping & access) to amend the design of plots 4, 5 and 6 Location: Tynedale Cheapside Waltham North East Lincolnshire

<http://planninganddevelopment.nelincs.gov.uk/online-applications/PLAN/DM/0308/20/FUL>

**Waltham Parish Council recommends approval of this application.**

- i) Planning Application Reference: DM/0308/20/FUL Proposal: Variation of condition 2 (Approved Plans) following DM/0420/16/FUL (Demolish existing dwelling and erect 5 detached houses and one pair of semi-detached houses to include garaging, landscaping & access) to amend the design of plots 4, 5 and 6 including dormer windows and rooflights (amended plans August 2020) Location: Tynedale Cheapside Waltham Grimsby <http://planninganddevelopment.nelincs.gov.uk/online-applications/PLAN/DM/0308/20/FUL>

**Waltham Parish Council recommends refusal of this application on the grounds that the proposed plans represent over-intensification of the site.**

August 2020

# Comments for Planning Application DM/0308/20/FUL

## Application Summary

Application Number: DM/0308/20/FUL

Address: Tynedale Cheapside Waltham Grimsby North East Lincolnshire DN37 0HU

Proposal: Variation of condition 2 (Approved Plans) following DM/0420/16/FUL (Demolish existing dwelling and erect 5 detached houses and one pair of semi-detached houses to include garaging, landscaping & access) to amend the design of plots 4, 5 and 6

Case Officer: Richard Limmer

## Customer Details

Name: Dr Pauline Adiotomre

Address: Mount Royal Cheapside Waltham

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: The changes made will seriously compromise the privacy of our back garden:

\*House 5- The 5 additional windows on the side of the house will create privacy issues as it will allow direct sight into our rear garden. The tree behind our out building has been cut down contrary to the site plan submitted.

\*House 4- 4 additional windows to side of building will allow direct sight into all of our rear garden.

Position of house 4 has also changed on the new site layout plan which is not mentioned in the revised plan summary.

The design of the roof of houses 4, 5 and 6 are not in keeping with the design of neighbouring houses therefore making them look odd as the height of the roofs have been raised.

The revised plan summary does not mention additional windows on ground and first floors that have been added.

Location and size of bin enclosure has also been changed with the landscaping which has also not been stated with the revised plan summary



# Comments for Planning Application DM/0308/20/FUL

## Application Summary

Application Number: DM/0308/20/FUL

Address: Tynedale Cheapside Waltham Grimsby North East Lincolnshire DN37 0HU

Proposal: Variation of condition 2 (Approved Plans) following DM/0420/16/FUL (Demolish existing dwelling and erect 5 detached houses and one pair of semi-detached houses to include garaging, landscaping & access) to amend the design of plots 4, 5 and 6

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Rands

Address: The Old Nurseries Cheapside Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I object to this change in the approved planning permission because:-

The addition of a 3rd floor to Plot 4,5 & 6 gives unobstructed views over all the neighbours private gardens, including mine.

There are no existing properties on this rural section of Cheapside of this type[3 storey] , all are 2 storey [4] or bungalows[4]

The extra rooms proposed effectively add another house to the site which in my opinion, has been overdeveloped for it's size and location already. This proposal adds a potential further burden in terms of extra numbers of people needing local amenities with NO financial contribution from the developer towards the local area.

# Comments for Planning Application DM/0308/20/FUL

## Application Summary

Application Number: DM/0308/20/FUL

Address: Tynedale Cheapside Waltham Grimsby North East Lincolnshire DN37 0HU

Proposal: Variation of condition 2 (Approved Plans) following DM/0420/16/FUL (Demolish existing dwelling and erect 5 detached houses and one pair of semi-detached houses to include garaging, landscaping & access) to amend the design of plots 4, 5 and 6 including dormer windows and rooflights (amended plans August 2020)

Case Officer: Richard Limmer

## Customer Details

Name: Mr Michael Rands

Address: The Old Nurseries Cheapside Waltham Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: My Comments made on the 28th May when the initial amended plans were submitted back in May still apply. This is over development of the site.

I would also advise that although these amended plans have not been approved Plot 6 on the site already has a completed tiled roof with the dormers and 4 roof lights for the proposed additional rooms on the 2nd floor.

**PLANNING COMMITTEE - 4th November 2020**

**ITEM: 8**                      **RECOMMENDATION: Approval with Conditions**

**APPLICATION No: DM/1145/19/FUL**

**APPLICATION TYPE: Full Application**

**APPLICATION SITE: Land At Mauxhall Farm, Immingham Road, Stallingborough, Grimsby, North East Lincolnshire, DN41 8BS**

**PROPOSAL: Construction and operation of an energy park comprising photovoltaic (PV) solar panels together with energy (battery) storage and associated infrastructure**

**APPLICANT:**

Mr Ben Bateman  
ENGIE Renewables Limited  
Mynydd Awel  
Mold Business Park  
Mold  
CH7 1XN

**AGENT:**

Ms Anne Dugdale  
SLR Consulting Ltd  
Brindley Court  
Unit 5  
Gresley Road  
Shire Business Park  
Worcester  
WR4 9FD

**DEPOSITED: 17th December 2019**

**ACCEPTED: 17th December 2019**

**TARGET DATE: 17th March 2020**

**PUBLICITY EXPIRY: 28th October 2020**

**AGREED EXTENSION OF TIME DATE: 30th October 2020**

**CONSULTATION EXPIRY: 26th January 2020**    **CASE OFFICER: Richard Limmer**

**PROPOSAL**

The proposal is to construct a solar farm and battery storage facility with a energy output of 49.9mw. The solar array would have the capacity to produce up to 29.9mw and the capacity of the battery storage would be 20mw. The solar arrays would take up the vast majority of the 47.2ha with the site split to the north and south of the A180. The bulk of the site, 32.7ha, is to the north of the A180 and a smaller portion, 14.5ha, to the south. The proposed battery storage facility is positioned in the northern parcel of the site measuring some 63.7m by 16.1m and up to 4.85m high.

The proposed development comes with associated infrastructure including a substation located in the north section of the site adjacent to the battery storage area. The main solar array areas would have a 2.4m high boundary deer fence around it whilst a 2.4m high security fence is proposed for the battery storage and substation.

This application has been brought to Planning Committee for consideration as it is a significant development proposal by Engie.

## **SITE**

The site comprises two principal areas, lying to the north and south of the A180 dual carriageway respectively. The northern part of the site obtains access via the existing farm track that runs parallel to and on the northern side of the A180 from the B1210 Stallingborough Road. The southern area, which lies to the south of the A180, would use a separate access off the B1210, via an existing field gate.

The site is low lying, being approximately 4.5m AOD in the south and sloping down to approximately 2m in the north of the site. The site comprises agricultural land, predominantly in arable production. Drainage channels are found across the site and tend to form field boundaries particularly in the northern part of the site. The principal water channel in the area is the North Beck Drain, a main river, which forms part of the southern site boundary. A pumping station is located immediately adjacent to the site where the North Beck Drain crosses under the A1173 in the north eastern part of the site.

Mauxhall Farm, with its associated farm buildings, lies within the northern part of the site, surrounded by trees. The farm and Mauxhall Farm House are within the applicants control.

## **RELEVANT PLANNING HISTORY**

No relevant planning history

## **RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS**

National Planning Policy Framework (February 2019)

NPPF2 - Achieving sustainable development  
NPPF12 - Achieving well designed places  
NPPF14 - Climate, flooding & coastal change  
NPPF15 - Conserv. & enhance the natural environ.  
NPPF16 - Conserv. & enhance the historic environ.

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO5 - Development boundaries  
PO22 - Good design in new developments

PO31 - Renewable and low carbon infrastructure  
PO32 - Energy and low carbon living  
PO33 - Flood risk  
PO39 - Conserve and enhance historic environ  
PO40 - Developing green infrastructure network  
PO41 - Biodiversity and Geodiversity  
PO42 - Landscape

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

## **REPRESENTATIONS RECEIVED**

Anglian Water - No comments

Drainage Board - No objections

Drainage Officer - Proposed drainage system is acceptable

Highways Officer - No objections, conditions for construction traffic

Highways England - No objections

Rights of Way Officer - No objections, informative for footpath

Environmental Health Officer- No objections, conditions for construction

Trees and Landscape Officer - No objections, condition for final landscaping details

Humberside Fire - No objections

Environment Agency - No objections, condition for the flood risk assessment

Natural England - No objections

Ecology Officer - No objections, condition for ecology benefits and planting

Crime Reduction Officer - No comments

Immingham Town Council - Fully support the application

Stallingborough Parish Council - No comments received

Neighbours

Gate House Farm Bungalow - objects due to concerns over the scale of the proposed development, location south of the A180, construction traffic and provision of CCTV.

Catch - Fully supports the proposed development

## **APPRAISAL**

Material Planning Considerations

- 1) Principle of Development
- 2) Agricultural land quality
- 3) Landscape character and visual amenity
- 4) Residential amenity
- 5) Access, highway and public rights of way issues.
- 6) Ecology
- 7) Archaeology
- 8) Flood Risk
- 1) Principle of Development

The National Planning Policy Framework (NPPF) sets out the Government's national planning policies and advises that the purpose of the planning system is to contribute to the achievement of sustainable development. At the heart of the Framework is a presumption in favour of sustainable development. The Framework sets out 12 core principles that should underpin plan-making and decision-taking. These include the need to support the transition to a low carbon future and encouraging the use of renewable resources. Section 14 sets out the Government's policies relating to climate change, flooding and coastal change. Local planning authorities are expected to encourage and help increase the use and supply of renewable and low carbon energy. When determining planning applications, local planning authorities should not require applicants for energy development to demonstrate the overall need for renewable or low carbon energy and should approve applications if its impacts are, or can be made, acceptable.

The National Planning Practice Guidance provides a suite of guidance to support the Framework. This includes a section on renewable and low carbon energy within which particular planning considerations relating to certain types of renewable energy are set out. With regards to large scale, ground-mounted solar farms, factors to consider include the encouragement of the effective use of land by focusing large scale solar farms on previously developed and non-agricultural land, provided that it is not of high environmental value. Where a proposal involves greenfield land, whether (i) the proposed use of any agricultural land has been shown to be necessary and poorer quality land has been used in preference to higher quality land; and (ii) the proposal allows for continued agricultural use where applicable and/or encourages biodiversity improvements around arrays. Reference is also made to a speech by the Minister for Energy and Climate Change, the Rt Hon Gregory Barker MP, to the solar PV industry on 25 April 2013 and Written Ministerial Statement Solar energy: protecting the local and global environment made on 25 March 2015. This highlights further the need to consider the quality of the land if agricultural land is proposed to be used. In particular that meeting energy goals should not be used to justify the wrong development in the wrong location and this includes the unnecessary use of high quality agricultural land. In light of these concerns it is clarified that any proposal for a solar farm involving the best and most versatile agricultural land would need to be justified by the most compelling evidence.

The position held by the NPPF in terms of large scale solar development is supported by Policy 31 of the NELLP and the criteria set out in part 2 of the Policy seeks to ensure sure that the development benefits outweigh the harm.

The National Planning Policy Statements for energy also provide overarching policy statements.

In terms of the North East Lincolnshire Local Plan the site is within the open countryside where part 3 of Policy 5 applies.

Finally in terms of economic profiling as the 'Energy Estuary', the Humber is also promoting itself as the UK's power generator and large-scale solar/PV will add to the breadth of generation technology in North East Lincolnshire. The site's development would fit well in relation to the industrial renaissance of the area linking to renewable energy. The proposed site sits either side of the A180 and would be testament to the areas expanding renewable credentials.

It should also be noted that the proposed development is not designed as a permanent fixture, the solar arrays and battery units only have a limited life span. As such and as is normal in these instances the development should only be granted on a limited time and with conditions to ensure future consideration as to whether the land should be returned to its former state. The Planning Statement submitted details the lifetime of the development to be 30 years. A condition to this effect is therefore considered necessary along with a condition for the decommissioning of the site.

Having regard to the above it is considered that there are no principle policy objections to

the development and it is the site specific issues which need to be taken into account.

## 2) Land quality

The NPPF and Policies 4 and 31 of the NELLP seek to protect the best and most versatile agricultural land and as stated above the NPPG and referred to Ministerial statements refer to the need to take into account the use of agricultural land and land quality. The Agricultural Land Classification provides a framework for classifying land according to the extent to which physical or chemical characteristics impose long-term limits on agricultural use. There are five grades, Grade 1 being excellent and 5 being poor. Grade 3 which equates to half the land in England and Wales is classed as Grade 3 which is sub divided into 3a (good quality) and 3b (moderate quality).

This issue has been fully taken into account and submitted details confirm the reason for the choice of this site and the application is supported by a land use quality assessment. This does identify that part of the site is grade 3a land. This is focused in the southern part of the site; approximately 8ha worth which equates to just over 20% of the whole site area. It is noted that further grade 3a land was identified in the central area of the farm but this does not form part of the application site.

In terms of planning policy the NPPF defines the best and most versatile agricultural land as land in grades 1, 2 and 3a. As a result the majority of the development site falls outside of this category. Furthermore the solar panels do not exclude grazing though the proposal itself focuses more on biodiversity enhancement and the planting of a wildflower seed mix which would have ecological benefits with wider potential benefits for the farming unit and local biodiversity generally. It must also be recognised that any permission would be temporary after which full agricultural use would be possible at the end of the operational lifespan and hence there would be no permanent loss of agricultural land. Natural England do not object on this issue but do refer to the need for the Local Planning Authority to consider the loss of agricultural land.

It is considered reasonable to conclude that the proposed development would not lead to significant and irreversible long term loss of best and most versatile agricultural land, as a resource for future generations. This is because of the limited land involved in terms of 3(a) and that the solar panels are normally secured to the ground by steel piles with limited soil disturbance and could be removed in the future with no permanent loss of agricultural land quality likely to occur. Moreover this matter can be considered again at the lapsing of the temporary period. The proposal therefore accords with Policies 5 and 31 of the NELLP and section 14 of the NPPF.

## 3) Landscape character and visual amenity

The application is supported by a Landscape and Visual Report which provides an assessment of the landscape and visual effects of the proposed solar photovoltaic development. The report goes through the potential landscape and visual effects and mitigation measures and provides a landscape evaluation of the area. It also considers



the impact on the designated Lincolnshire Wolds Area of Outstanding Natural Beauty (AONB). The visual impacts are considered in relation to views from residential property, public rights of way and transport routes.

The panels have been positioned sensitively so as to limit their impact on the surrounding landscape and would not represent an unacceptable intrusion in terms of their scale and design. There would be some residual effects on the landscape and the character of the countryside as a result of the proposals but given the assessment undertaken, the mitigation measures and the renewable energy and climate change benefits the proposal is considered acceptable on landscape impact grounds.

The proposed energy park development by virtue of its land take up would result in localised landscape and visual effects but this is in context to the setting in which it is sited which includes major infrastructure of the A180 Trunk Road, Stallingborough interchange and the back drop of the Humber Bank Industrial area and to the north the town of Immingham. The proposed development also incorporates a planting strategy that would help to integrate it with the immediate context and result in enhancement of local landscape character. Indeed this would also provide a beneficial legacy that would extend beyond the operational life of the development. The proposal is therefore considered acceptable in terms of its visual impact and accords with Policies 5, 31 and 42 of the NELLP.

#### 4) Residential amenity

The site covers some 47ha but has very few immediate residential neighbours. The closest residential neighbour is Mauxhall Farm House itself, indeed this falls within the application site. The existing occupant is an agricultural tenant but the lease of the land is up and the applicants land deal would include this property. The applicant has served notice on the occupant and they have been consulted as part of the planning application process and no comments have been received. At any rate the proposed site layout would not unduly impact upon the amenities of this residential property.

It is noted that Gate House Farm Bungalow has objected to the proposed development due to concerns over the construction period, the scale of the development and the position of CCTV masts. The site itself would be some 230m to the south east of this neighbour. The proposed site layout and the scale of the proposed solar arrays means that the physical form of the development, whilst visible from the property, would not unduly harm their amenities. The concerns relating to the CCTV are noted, but the CCTV cameras would be mounted on 4m poles and at a range of 230m (this being the closest single camera) it would not detract from the privacy enjoyed at the dwelling. In terms of construction this can be controlled by a condition requiring a detailed Construction Management Plan, as is normal for most development proposals.

Other residential properties on the edge of Immingham would be able to see the proposed development but the scale of the development would mean that it would not unduly affect the amenities of these neighbours. The proposal would therefore accord

with Policies 5 and 31 of the NELLP.

#### 5) Access, highways and rights of way issues

The site is to be served by two existing access points off Stallingborough Road. The application is supported by transport statements and plans and this confirms that the peak construction rate of the project would not attract significant numbers of traffic movements. However, to address potential concerns the applicant has supplied a Construction Traffic Routing Plan. This details that all construction traffic would come from the A180 via Matthew Ford Way avoiding both Immingham and Stallingborough.

The Highways Officer and Highways England have reviewed the submitted documents and concur that the proposed development, and in particular the construction period, would not have a significant impact on the highway network in terms of amenity or safety. The proposal would therefore accord with Policy 5 of the NELLP.

#### 6) Ecology.

Policies 5 and 41 of the NELLP and Section 15 of the NPPF require development proposals to have regard to the impact of development on the natural environment. The application has been submitted with extensive Ecological Surveys including a Bat Emergence Survey, Extended Phase 1 Habitat Survey, Protected Species Survey, Over Wintering Bird Survey and an overall Ecological Impact Assessment.

These documents have been reviewed in detail by Natural England and the Council Ecologist. Following additional information having been submitted Natural England have confirmed they have no objections to the proposed development. Particular regard has been had to the Over Wintering Birds that use the site and it has been demonstrated that the site is not functionally linked to the Humber Estuary SSSI.

The Council Ecologist has confirmed that they have no objections to the proposed development subject to the recommendations made in the Ecological Impact Assessment being fully implemented. This can be secured by a condition. This includes the planting of wild flower areas, new hedging and other improvement features. This ties into the requirement of further details of landscaping planting and wider biodiversity improvements.

It is therefore considered that the proposed development, with the inclusion of conditions, would accord with Policies 5 and 41 of the NELLP.

#### 7) Archaeology

Policy 39 of the NELLP and section 16 of the NPPF require development proposals to have regard to protecting and enhancing the historic environment. In this instance the main aspect of the historic environment is the archaeology on the site.

A detailed archaeological appraisal has been submitted and there has been full consultation with the Council's Heritage Officer and excavations have been undertaken on the site. The results of the appraisal and excavations have been considered by the Heritage Officer and whilst there are areas of archaeological interest on the site they are not significant and would not restrict development. Conditions to secure monitoring and specification of further works are required but the development is in accordance with Policy 39 of the NELLP.

## 8) Flood Risk

Policies 5 and 33 of the NELLP require development proposals to have due regard to flood risk and the potential of the development to increase the risk of flooding elsewhere. Due to the size of the site it sits within a mixture of flood zones 1, 2 and 3 both the Environment Agency maps and the SFRA. As such the application has been supported by a detailed Flood Risk Assessment. The nature of the proposed development is that the actual solar arrays are not considered to be sensitive in flood risk terms but the substation and battery storage facilities are. The submitted FRA proposes the following mitigation:

- Critical infrastructure, which includes the substation and battery storage units, to be set no lower than 4.11m above Ordnance Datum (AOD) or sited within sealed units flood proof to at least 4.11m AOD.

The Environment Agency have considered the proposal alongside the submitted FRA and mitigation measures and raise no objections to the proposal subject to a condition to secure the mitigation measures. It is therefore considered that the proposed development accords with Policy 33 of the NELLP.

## CONCLUSION

The proposed development is located within the open countryside and on agricultural land without any specific allocation on the NELLP and would provide a significant amount, up to 49.9mw, of renewable energy. This principle is supported by both the NELLP in Policy 31 and the NPPF in Section 14. The potential impacts of the proposed development have been considered through the planning application process and discussed in the report above. It is considered that the proposed development would not lead to any matters of adverse harm and accords with Policies 5, 22, 31, 32, 33, 39, 40, 41 and 42. Subject to a number of safeguarding conditions it is recommended that the application is approved.

## RECOMMENDATION

### Approval with Conditions

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

The development shall be carried out in accordance with the following plans:

Fig 1 - Site location plan

Fig 2 - Proposed site layout

Fig 3 - Detailed site layout south west

Fig 4 - Detailed site layout central

Fig 5 - Detailed site layout north east

Fig 6.1 - Driven mount system

Fig 7 - Proposed inverter

Fig 8 - Proposed battery storage units

Fig 9 - Proposed substation

Fig 10 - Proposed deer fence and cctv poles

Reason

For the avoidance of doubt and in the interests of proper planning.

(3) Condition

All the solar panels, battery units and all associated plant, buildings, fencing and equipment hereby permitted shall be removed from the site and the land restored to its former condition, either:

a) on or before the end of the 31st year following the date of the first commissioning of the solar farm.

b) within six months of the solar farm becoming redundant, surplus to requirements or ceasing to be used for the production of electricity whichever occurs soonest.

The Local Planning Authority shall be notified in writing within 2 months of the commissioning of the solar farm. Such notification shall include relevant certificates and date of commissioning.

Reason

In recognition of the expected life of the development and the renewable energy to be provided, the protection of the rural character of the area and to allow future consideration of agricultural production so as to accord with Policies 5 and 31 of the North East Lincolnshire Local Plan 2013-2032.

(4) Condition

No development shall take place until a Construction Management Plan has been submitted to and approved in writing by the Local Planning Authority. Thereafter the approved Plan shall be implemented and adhered to throughout the entire construction period. The Plan shall provide details as appropriate and include the following matters,

- details of dust and noise suppression methods to be employed during the construction period,
- the routing of construction traffic,
- the parking of vehicles by site operatives and visitors,
- the storage of plant and materials used in the construction of the development,
- the provision of wheel washing facilities and other works required to mitigate the impact of construction upon the public highway,
- details of public engagement both prior to and during construction works,
- details on the protection and management of the public rights of way which run along the access road and which cross the site,
- details on the hours of working and the hours of vehicle movements associated with the construction of the development.

Reason

In the interests of highways safety and the amenities of the area to accord with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(5) Condition

No development shall commence until:

- (a) A scheme of landscaping showing the details of the number, species, sizes and planting positions of all the proposed planting;
- (b) A plan including details of all trees to be retained, any to be felled, hedgerows to be retained, any sections of hedgerow or trees to be removed;
- (c) Measures for the protection of trees and hedges during construction work;
- (d) A detailed biodiversity improvement plan including provision for bat boxes, owl boxes and bird boxes;
- (e) A detailed management plan for all of the landscaping and biodiversity improvement works for the lifetime of the development;
- (f) A detailed plan for the completion of all landscaping and biodiversity improvement works;

have been submitted to and approved in writing by the Local Planning Authority. The development shall then be built out in complete accordance with the approved details.

Reason

To ensure a satisfactory appearance and setting for the development and protection of

existing features in the interests of local amenity in accordance with Policies 5, 22, 40, 41 and 42 of the North East Lincolnshire Local Plan 2013-2032.

(6) Condition

The development permitted by this planning permission shall be carried out in accordance with the approved Flood Risk Assessment (FRA) [December 2019 / 404.00834.00025 / SLR Consulting] and the following mitigation measures detailed on page 19 of the FRA:

- Critical infrastructure, which includes the substation and battery storage units, to be set no lower than 4.11m above Ordnance Datum (AOD) or sited within sealed units flood proof to at least 4.11mAOD.
- Flood resilience and resistance measures to be incorporated into the proposed development as stated.

The mitigation measures shall be fully implemented prior to the development first coming into use and subsequently remain in place.

Reason

To reduce the risk of flooding to the proposed development in accordance with Policy 33 of the North East Lincolnshire Local Plan 2013-2032.

(7) Condition

The development shall be built out in strict accordance with the Construction Traffic Management Plan (Appendix 6) dated December 2019 unless otherwise agreed in writing by the Local Planning Authority.

Reason

In the interests of highway safety and amenity in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(8) Condition

The development shall be built out in strict accordance with the mitigation measures and recommendations within the Ecology Impact Assessment ref: 404.00834.00025 dated December 2019.

Reason

In the interests of ecology and biodiversity in accordance with Policies 5 and 41 of the North East Lincolnshire Local Plan 2013-2032.

(9) Condition

No external lighting shall be installed within the site unless details have been submitted to

and approved in writing by the local planning authority. Such details shall include the position, height and luminance levels of the lighting and details of their operation. Any lighting installed shall be in accordance with the details approved.

**Reason**

In the interests of visual amenity to safeguard the rural character of the area to accord with Policy 5 of the North east Lincolnshire Local Plan 2013-2032.

**(10) Condition**

All cabling shall be laid underground in accordance with a scheme to be submitted and approved in writing by the local planning authority prior to installation. All cables shall be installed in accordance with the details approved.

**Reason**

In the interests of local amenity and the satisfactory completion of the development to accord with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

**(11) Condition**

The development shall be built out in accordance with the Archaeology Mitigation Method Statement ref:404.00834.00026 dated October 2020, unless otherwise approved in writing by the Local Planning Authority.

**Reason**

To protect the archaeology on the site in accordance with Policy 39 of the North East Lincolnshire Local Plan 2013-2032.

## **Informatives**

**1 Reason for Approval**

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

**2 Added Value Statement**

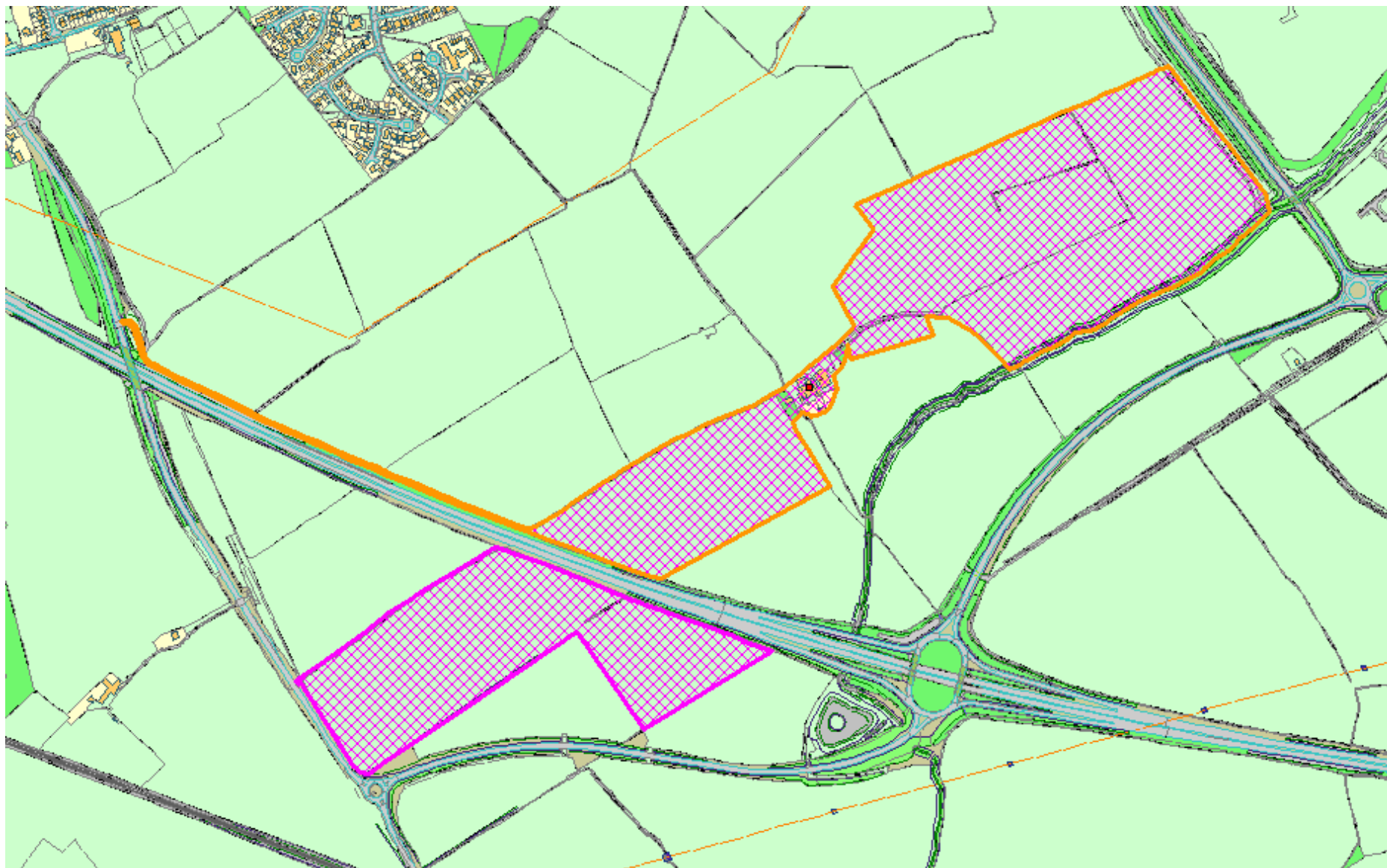
Article 31(1)(cc) Statement - Positive and Proactive Approach

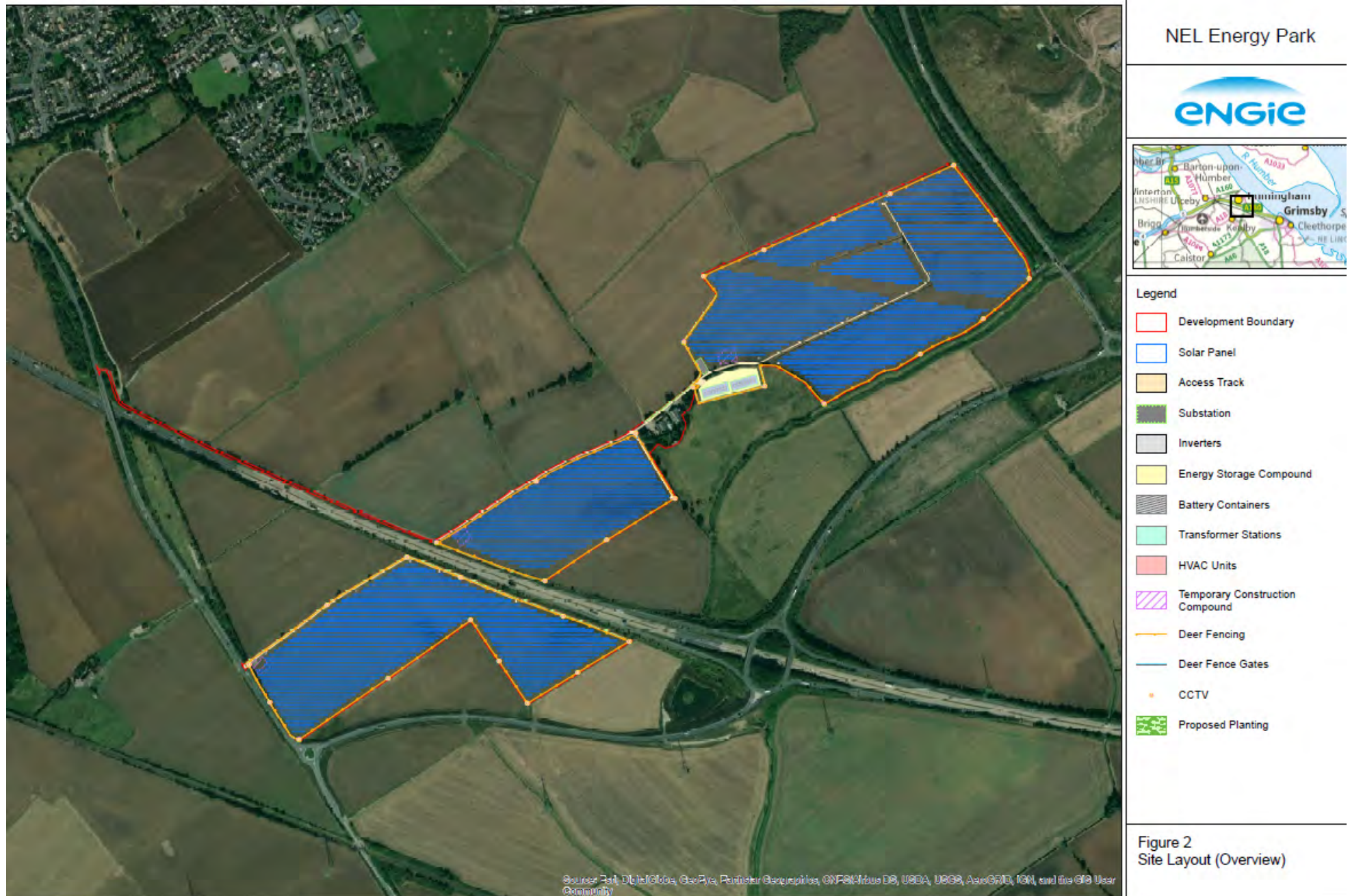
In accordance with paragraph 187 of the National Planning Policy Framework, the Local

Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by providing pre-application advice and dealing with issues through the planning process.

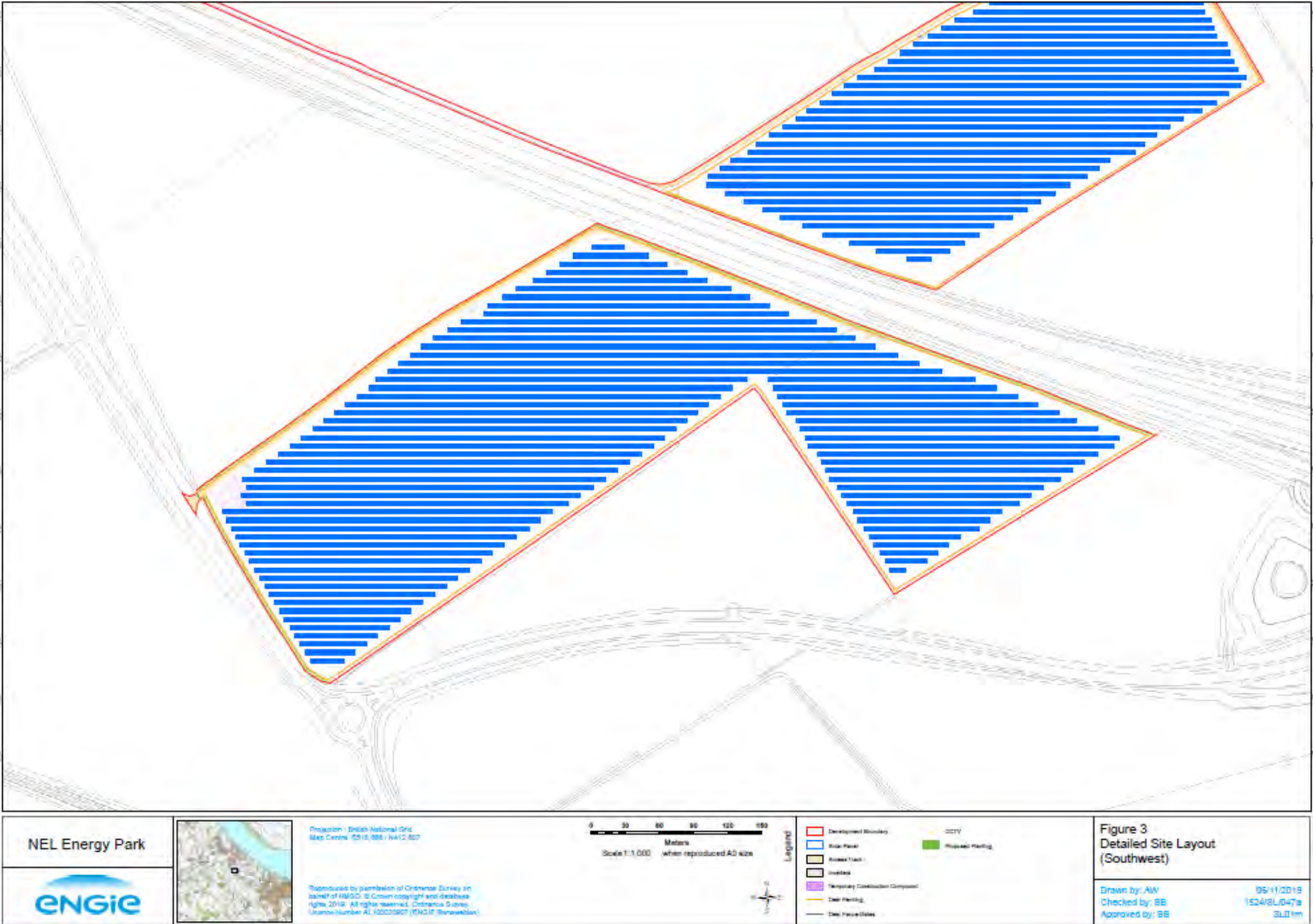


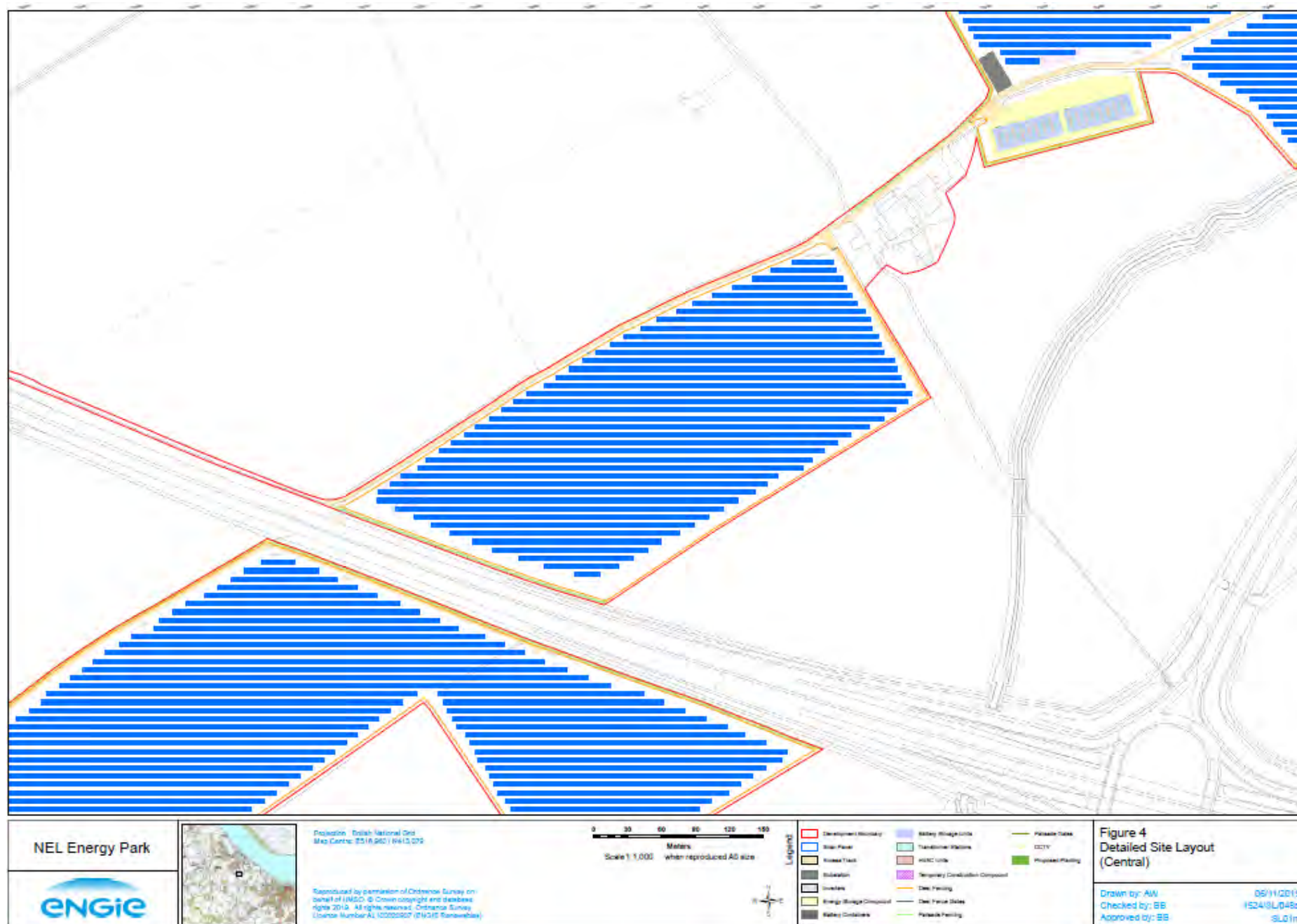
DM/1145/19/FUL – LAND AT MAUXHALL FARM, IMMINGHAM ROAD, STALLINGBOROUGH

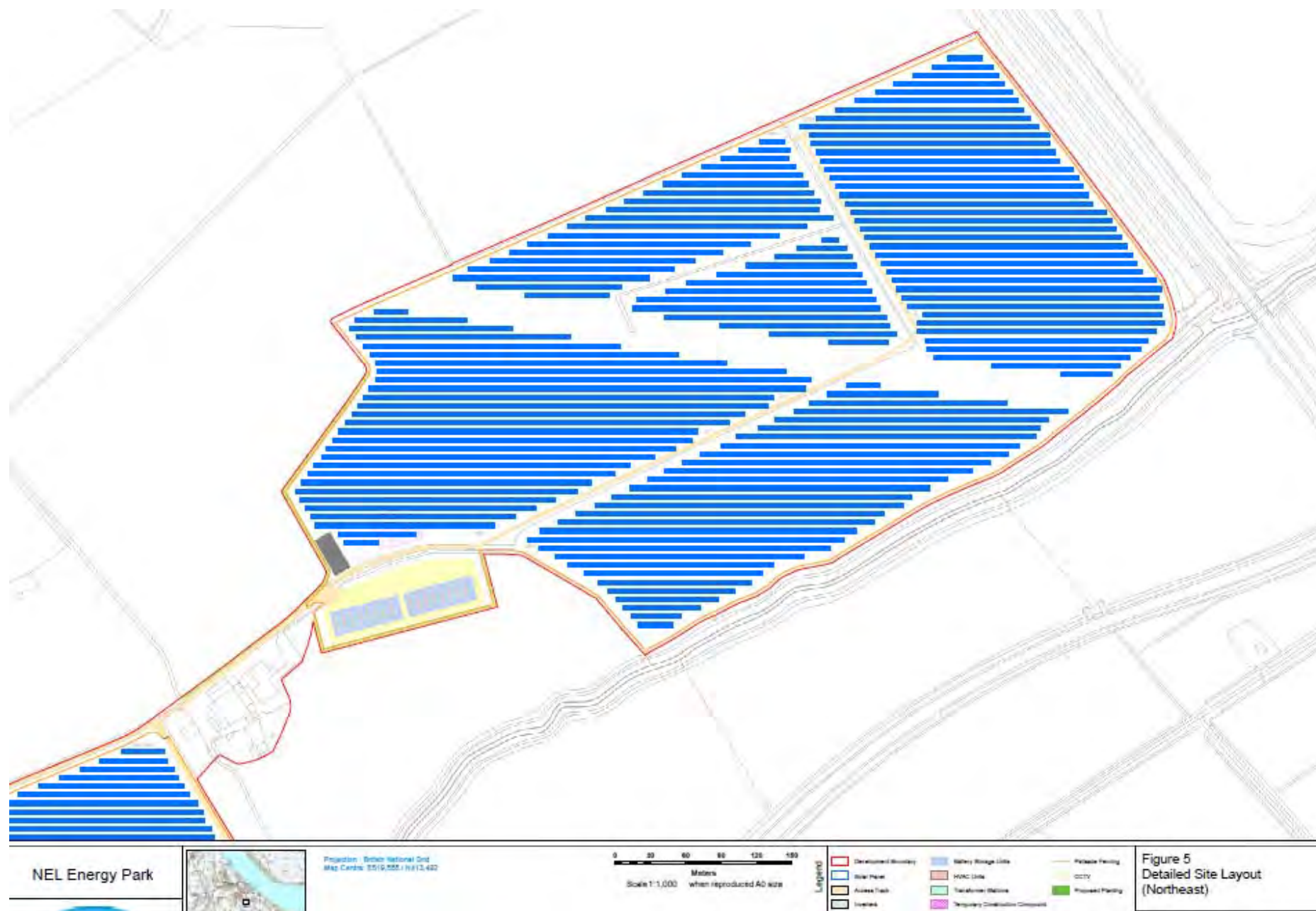












# Comments for Planning Application DM/1145/19/FUL

## Application Summary

Application Number: DM/1145/19/FUL

Address: Land At Mauxhall Farm Immingham Road Stallingborough Grimsby North East  
Lincolnshire DN41 8BS

Proposal: Construction and operation of an energy park comprising photovoltaic (PV) solar panels  
together with energy (battery) storage and associated infrastructure

Case Officer: Richard Limmer

## Customer Details

Name: Mr Immingham Town Council

Address: Civic Centre Immingham

## Comment Details

Commenter Type: Parish Council

Stance: Customer made comments in support of the Planning Application

Comment Reasons:

Comment: The Town Council fully supports this application



# Comments for Planning Application DM/1145/19/FUL

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Proposal: Construction and operation of an energy park comprising photovoltaic (PV) solar panels together with energy (battery) storage and associated infrastructure

Case Officer: Richard Limmer

## Customer Details

Name: Mr Craig Bilbe

Address: gatehouse farm bungalow stallingborough road stallingborough

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: dear planning ,

I am the nearest neighbour to this development , and object to lorries & cctv being erected on the stallingborough road end of the development ,

1/ on the plans there are cctv cameras to be erected on each corner and then periodically along the outskirts of the development in all directions , these cameras will be far above fence height and will be covering a substantial area , therefore with the magnitude and number of these cameras in the area, what assurances can be given that they will not be breaking the law and over looking my property .

2/ I have mentioned in my first objection about the 400 - 500 lorries supporting this development , but just to make it clear , in a previous planning application for drilling on the western field ( closest to stallinborough road ) they were given permission to use the field entrance with a wheel wash , which is what they are asking for now , but that did not work , stallingborough road was covered in mud , lorries were sat waiting across my entrance driveway and lorries were also stacking up and using the bus stop , this was a small development and now you suggest 400-500 lorries for this up coming development ,it could not cope with the few lorries on the previous drilling application , realistically if a few lorries can create what we had to put up with last time then this volume will surely be uncontrollable , can you give me assurances that this will not happen with the inadequate proposals offered to planning for permission .

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Lincolnshire DN41 8BS

Proposal: Construction and operation of an energy park comprising photovoltaic (PV) solar panels together with energy (battery) storage and associated infrastructure

Case Officer: Richard Limmer

## Customer Details

Name: Mr craig bilbe

Address: gatehouse farm bungalow stallingborough road stallingborough

## Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: dear planning , I have to object to this solar farm in its present form , I must be one of the closest houses to this proposed development , i am not fully objecting to the development , and made my views known on there presentation day in Immingham .

my objection is that the solar farm is spread roughly equally between the two sides of the motorway , with solar panels and the battery pack on the eastern side of the motorway along with a wild flower meadow .

after experiencing the last attempt at planning permission for this land , were drilling took place at mauxhall farm this development is going to need around 400 - 500 lorry trips to this site probably fifteen times the amount of the last drilling operation on this land so how are they going to manage to keep clean our roads and entrance to my own home .

would it not be more suitable to place the wild flower meadow on the western side of the motorway , therefore cutting down the need for 30ft cctv cameras to be placed along stallingborough road and vehicle access would then be minor instead of heavy on stallingborough road , with the wildflower meadow also on the western side it would not set a precedent for the western side to become an industrial area , after all the dividing line between the industrial side and the residential side is or seems to be the motorway .

all in all the plan needs revisiting to make sure stallingborough road is still retained as a residential area , shifting the wildflower meadow to the residential side or western side of the motorway would



make this development acceptable in the wider community including myself .

# Comments for Planning Application DM/1145/19/FUL

## Application Summary

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Lincolnshire DN41 8BS

Proposal: Construction and operation of an energy park comprising photovoltaic (PV) solar panels together with energy (battery) storage and associated infrastructure

Case Officer: Richard Limmer

## Customer Details

Name: Mrs Katie Hedges

Address: HCF CATCH, Redwood Park Estate Stallingborough Grimsby

## Comment Details

Commenter Type: Neighbour

Stance: Customer made comments in support of the Planning Application

Comment Reasons:

Comment: CATCH fully support the proposal to construct and operate an energy park. The job creation will boost the local economy and the development of more large scale renewable energy is critical to the UK meeting its net zero targets.