

Planning Committee Dated: 14th July 2021

Summary List of Detailed Plans and Applications

		Recommendation: Approved with Conditions
Item:	1	
Application No:	DM/1084/20/REM	
Application Type:	Reserved Matters	
Application Site:	Land At Bradley Road Barnoldby Le Beck North East Lincolnshire	
Proposal:	Reserved matters application to erect 66 dwellings following DM/0997/16/OUT to consider access, appearance, landscaping, layout and scale (amended elevational details and landscaping plans)	
Applicant:	Mr Kevin Snape	
Case Officer:	Richard Limmer	
		Recommendation: Approved with Conditions
Item:	2	
Application No:	DM/1038/20/FUL	
Application Type:	Full Application	
Application Site:	Healing Village Hall Great Coates Road Healing Grimsby	
Proposal:	Change of use from village hall to a members only food sales outlet (sui generis) use	
Applicant:	Mr Christopher Glass	
Case Officer:	Jonathan Cadd	

Recommendation: Approved with Conditions	
Item:	3
Application No:	DM/0426/21/FUL
Application Type:	Full Application
Application Site:	74 Stallingborough Road Healing North East Lincolnshire DN41 7QL
Proposal:	Erect single storey rear extension with roof lights to existing garage to form pool room, retain play equipment to rear of garden, erect porch to front elevation and alterations to boundary treatments to include installation of gate
Applicant:	Mr M Crome
Case Officer:	Emily Davidson

Recommendation: Approved with Conditions	
Item:	4
Application No:	DM/0350/21/FUL
Application Type:	Full Application
Application Site:	Valley Cottage Hatcliffe Road West Ravendale North East Lincolnshire
Proposal:	Demolish an existing dwelling, erect new dwelling with a detached garage, a detached barn / stables block with boundary treatments, access, landscaping and boundary ditches (amended plans June 2021)
Applicant:	Mr Aidan Jones
Case Officer:	Richard Limmer

Recommendation: Refused	
Item:	5
Application No:	DM/0528/21/FUL
Application Type:	Full Application
Application Site:	Tale Of Two 2 - 3 Alexandra Road Cleethorpes North East Lincolnshire
Proposal:	Erect single storey front extension
Applicant:	Tale of Two Ltd
Case Officer:	Jonathan Cadd

Recommendation: Approved Limited Period	
Item:	6
Application No:	DM/0513/21/FUL
Application Type:	Full Application
Application Site:	Land Adj Field Gates Post Office Lane Ashby Cum Fenby North East Lincolnshire
Proposal:	Temporary siting of a static caravan for a period of 18 months during the build phase for the new dwelling on site (resubmission of planning application DM/0907/20/FUL)
Applicant:	Mr And Mrs Hawkins
Case Officer:	Emily Davidson

Recommendation: Approved with Conditions	
Item:	7
Application No:	DM/0180/21/FUL
Application Type:	Full Application
Application Site:	Astle BMW Grimsby Road Laceby Grimsby
Proposal:	Erect BMW motorcycle showroom building and standalone wash/valet building along with elevation changes to existing showroom/workshop building in accordance with clarification of loading area plan and Delivery Protocol Planning Statement received by the Local Planning Authority on 23rd June 2021
Applicant:	Jane Grimble
Case Officer:	Ian Trowsdale

Recommendation: Approved with Conditions	
Item:	8
Application No:	DM/0381/17/FUL
Application Type:	Full Application
Application Site:	Garages Granville Street Grimsby North East Lincolnshire
Proposal:	Demolish existing garages and workshop, erect nine dwellings with associated parking, landscaping and alterations to vehicular and pedestrian access
Applicant:	Mr C Roberts
Case Officer:	Lauren Birkwood

Recommendation: Approved with Conditions	
Item:	9
Application No:	DM/0175/21/FUL
Application Type:	Full Application
Application Site:	Salisbury Court Barnoldby Road Waltham Grimsby
Proposal:	Retrospective permission to erect single storey timber staff room and a single storey extension to existing nursery to provide additional classroom (amended plans/description)
Applicant:	Mrs Eleanor Hutton
Case Officer:	Lauren Birkwood

PLANNING COMMITTEE - 14th July 2021

ITEM: 1 **RECOMMENDATION: Approved with Conditions**

APPLICATION No: DM/1084/20/REM

APPLICATION TYPE: Reserved Matters

APPLICATION SITE: Land At, Bradley Road, Barnoldby Le Beck, North East Lincolnshire,

PROPOSAL: Reserved matters application to erect 66 dwellings following DM/0997/16/OUT to consider access, appearance, landscaping, layout and scale (amended elevational details and landscaping plans)

APPLICANT:

Mr Kevin Snape
Snape Properties Ltd
Thorn Lea
Main Road
Ashby cum Fenby
Grimsby
North East Lincolnshire
DN37 0QW

AGENT:

Mr Richard Likupe
Palmleaf Architects
10 Tinley Close
Cottingham
Hull
HU16 4EN

DEPOSITED: 14th December 2020

ACCEPTED: 19th January 2021

TARGET DATE: 20th April 2021

PUBLICITY EXPIRY: 22nd June 2021

AGREED EXTENSION OF TIME DATE:

CONSULTATION EXPIRY: 15th February 2021

CASE OFFICER: Richard Limmer

PROPOSAL

This application seeks approval of reserved matters to erect 66 dwellings following the grant of outline planning permission DM/0997/16/OUT on 14th September 2018. It consists of a mix of detached and semi detached properties including 13 affordable units required by the agreed S106 Legal Agreement under the outline permission.

The application is presented to Planning Committee due to the objections from Parish Councils and the letters of objection received. The application was deferred from the April

2021 Planning Committee for negotiations around the design of the proposed dwellings. Negotiations have taken place and the dwellings designs have been updated and detailed landscaping plans provided.

SITE

The site is located on the western side of Bradley Road, Barnoldby Le Beck on the edge of the village of Waltham. The site itself is located within the Parish of Barnoldby le Beck although geographically it forms part of Waltham village. The Parish boundary runs along Bradley Road.

The site is a relatively flat, open, agricultural field used for grazing and producing haylage. The boundaries of the site are somewhat undefined as the northern boundary is open with no particular feature on it. The eastern boundary is open to Bradley Road then there are the neighbouring properties on other side of Bradley Road that face the site. The western boundary has a small ditch running along it with open countryside beyond.

The southern boundary however is adjacent to a residential neighbour no.51 Bradley Road where it has a 1.8m high boundary fence along the boundary.

The application site sits around nos.57, 57A and 59 Bradley Road. The site effectively surrounds these properties on three sides with the fourth side fronting on to Bradley Road. These properties have a mixture of boundary hedges of varying heights.

RELEVANT PLANNING HISTORY

DM/0997/16/OUT - outline application for up to 66 dwellings with access to be considered - approved (s.106 for affordable housing, education and highway works). Approved 14th September 2018.

DM/0056/20/FUL - Erect 82 dwellings to include garages, access roads and landscaping (amended site layout plans including zebra crossing, boundary treatments and plot repositions - Sept 2020). Refused 6th November 2020. This was refused on the following grounds;

'The proposed development, by reason of the number of dwellings and intensive layout, would have a detrimental impact on the general character of the area, have an adverse impact on local infrastructure and have detrimental impact on the capacity of the highway network adversely impacting on highway safety. As a result, the proposal is contrary to Policy 5, 6, 22 and 42 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) and the provisions of the National Planning Policy Framework 2019.'

An appeal has been lodged against this decision.

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

National Planning Policy Framework (February 2019)

- NPPF5 - Delivering a sufficient supply of homes
- NPPF12 - Achieving well designed places
- NPPF14 - Climate, flooding & coastal change
- NPPF15 - Conserv. & enhance the natural environ.
- NPPF16 - Conserv. & enhance the historic environ.

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

- PO3 - Settlement hierarchy
- PO6 - Infrastructure
- PO18 - Affordable housing
- PO22 - Good design in new developments
- PO33 - Flood risk
- PO34 - Water management
- PO38 - Parking
- PO40 - Developing green infrastructure network
- PO41 - Biodiversity and Geodiversity
- PO42 - Landscape
- PO43 - Green space and recreation
- PO39 - Conserve and enhance historic environ

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

REPRESENTATIONS RECEIVED

Barnoldby Le Beck Parish Council - Objections raised on the grounds that the local infrastructure is inadequate to provide for this increase in development which will increase the number of homes putting a strain on schools and health facilities. Traffic and drainage concerns are raised along with visual impact, landscaping and ecological concerns. The Parish Council urge the Planning Committee Councillors of NELC to consider residents concerns raised across Barnoldby, Waltham and Bradley. Reference is also made to a lack of contributions through the S106 and that there should be more community benefit. They would like to be given the opportunity to put forward suggestions to benefit the village.

Waltham Parish Council - The Parish Council recognises that outline permission has already been granted to build 66 dwellings on the site, and that this application is for reserved matters. However, it is stated that the Flood Risk Assessment is now four years out of date and the Parish Council feels that this should be updated given the changing weather patterns over recent years. There is no heritage report available to view, and there is a lack of information on foul and surface water drainage. Concerns are also expressed at the volume and speed of traffic along Bradley Road. Reference is made to the assessments undertaken and that the development of the former Western School site will further increase traffic. The Parish Council is fully supportive of residents' concerns that the existing street scene of Bradley Road is predominantly bungalows, but the mix of properties in the new development is a high proportion of two-storey developments and less than ten per cent bungalows. The Parish Council recommends refusal.

Bradley Parish Council - Bradley Parish Council objects to the development on the grounds of traffic congestions and safety. Reference is made to safety and fatalities along this road. Concerns raised at the vulnerability of school children crossing the road. Concerns also raised at the pressure on local schools, drainage and infrastructure in the area. Moreover, concerns raised at the additional pressures in relation to other schemes including the Toll Bar development, Western Relief Road and increase in the village of Barnoldby Le Beck beyond its capacity.

Drainage Officer - surface water drainage details acceptable.

Environment Agency - no comment on reserved matter elements.

Humberside Fire - standard advice on fire fighting requirements.

Heritage Officer - reserved matters application does not impact on previous comments.

Environmental Health - conditions advised on hours of construction, electrical car vehicle charging points and construction management.

Crime Reduction Design Officer - Questions raised over how the dwellings are to be made secured to the rear. Reference to Secured By Design Guidance.

Trees and Woodland Officer - Nothing to add to previous comments on schemes for the site.

Anglian Water Authority - No comments on application documents. Standard advice on the need to meet the surface water drainage hierarchy.

Highways Officer - The application submitted is for 66 dwellings following the granting of Outline approval. The Highway Authority has worked with the applicants to ensure various details have been secured throughout the application. The Highway Authority is content for the Reserved Matters to be granted planning approval subject to various

conditions being requested. In relation Section 106 Contributions it is noted that these were requested as part of the Outline and these remain as agreed.

Neighbours and local representations

Objections have been received from the following:

40, 43, 44, 45, 51, 54, 57, 57A, 58, 59, 60, 66 Bradley Road
6 Willow Park
5 and 14 Archer Road
59 Ashby Road
3, 4, and 5 Marian Way
5 and 29 Gleneagles
36 and 79 Woodhall Drive
1 Wood Close
27 Alderley Edge
Southlands, Waltham Road
28 Timberley Drive
5 Ascot Road
2 Drury Close

It is also noted that some of the above neighbours have made multiple comments about detailed aspects of the proposed development.

The neighbours above have objected to the proposed development with concerns over the following matters:

- Traffic generation;
- Highway safety. the dangerous nature of Bradley Road is raised;
- Highway amenity;
- Impact on the character of the area;
- Outlook;
- Loss of privacy;
- Need, with reference to other developments including the Toll Bar housing site and that the site was discounted through previous strategic assessments;
- Impact on village identity;
- Impact on education provision;
- Impact on village amenities and shops which are not sufficient;
- Ecology;
- Loss of views;
- Location of the development;
- Access;
- Flood risk. Reference made to the recent refusals for 3 dwellings at Cheapside.
- Details of documents provided.
- Air, light and noise pollution.
- Inappropriate layout including provision of affordable housing.

Following consultation on the amended plans further neighbour objections have been received reiterating the concerns stated above. These are from:

20, 40, 44, 51, 54, 57A, 58 and 59 Bradley Road
3 and 6 Marian Way
2 Drury Close
53 Barnoldby Road

Further objections have also been received from Bradley Parish Council:

Bradley Parish Council strongly objects to the above application for the following reasons:-

All of Bradley Parish Councils original objections to the proposal (as stated below) have not been addressed within the amended plans except for Point 4.

1. The main objection is the extra traffic along Bradley Road and its implications. ie. There is already congestion at both ends of Bradley Road, Waltham mini roundabout and Bradley Cross Roads roundabout, at busy times. There have also been at least 3 fatalities along this road in the last 5 years. Although there is now 30mph and 40mph speed restrictions in place motorists frequently abuse these restrictions, especially at peak times and if children are crossing this road for school it will make them very vulnerable.
2. The increase in the number of school children this development would bring who would be attending the local schools would put massive pressure on school facilities.
3. There are already many staff from both the Bradley Nursing Home and the Woodlands Hospital who regularly walk along Bradley road to and from work and as they use the existing footpaths they have to actually cross the road several times, again, more traffic makes them vulnerable.
4. The drainage for this proposed development will seriously impact on Bradley Road, the existing infra structure will be inadequate and this will all result in excess flooding along the road, particularly as there are already occasions when flooding occurs.
5. As the development at Waltham Toll Bar is concluded, this will inevitably bring even more traffic along Bradley Road, so more congestion will occur.
6. If the Western Relief Road is developed that too will bring even more congestion to Bradley Road, and these proposed developments are not too far into the future.
7. If 66 properties were to be erected that would be an increase of 30% to Barnoldby-le-becks existing residency. With this increase it would go against the figures listed in the strategic housing land availability assessment 2015, under reference HOU292. It would bring Barnoldby le Beck very close to the potential capacity.

Bradley Parish Council therefore strongly objects to the proposal excluding Point 4.

Barnoldby le Beck Parish Council have confirmed that they maintain their objection to the proposed development.

APPRAISAL

Planning Considerations

- 1) Principle of Development.
- 2) Concept and Character.
- 3) Highways.
- 4) Impact on Neighbours.
- 5) Ecology and Amenity.
- 6) Drainage and Flood Risk.
- 7) Contributions.

1) Principle of Development

The proposed development is for 66 dwellings with associated infrastructure on land off Bradley Road. The site is located within the Parish boundary of Barnoldby le Beck however it is clearly geographically located adjacent to the village of Waltham.

The site is allocated in the North East Lincolnshire Local Plan 2013-2032 (NELLP) for housing under Policy 13. Site HOU 292. Furthermore, the site benefits from outline planning permission for 66 dwellings under DM/0997/16/OUT. The principle of the sites residential development is established by the outline permission. This Reserved Matters application is part of that outline and as such the principle of the sites residential development is not for consideration. It is those reserved matters of detail which this application seeks to have determined.

The planning history is as detailed in the report. This included the refusal for 82 dwellings under DM/0056/20/FUL. However, this was for a new full planning permission and not in relation to the already approved outline permission.

2) Concept and Character

Policies of the NELLP and section 12 of the NPPF establish that new development should be of good design, a key component of good design is understanding the character and context of the surrounding area.

The outline application sets out through its submission the principles for the layout of the

proposed development. It proposed that the development will respond to the setting of the site, especially the urban edge and develop housing of mixed sizes and tenures. This reserved matters application follows those principles.

An immediate feature of the proposed development that responds to its setting is the provision of a large area of landscaping along the western edge of the development. This is designed to create a buffer to the development and a to create a soft urban edge. This approach has been tied into the site layout by minimising the number of properties backing onto the open countryside and maximising views out of the development. This mimics the open fronted nature of the development on the opposite side of Bradley Road that overlooks the development site. The extent of the built form of the proposed development also respects development lines already created by the layout of properties along Bradley Road. It uses the northern edge of the Marian Way development and the rear boundaries of properties on Willow Park as limits with only landscaping extending beyond those lines.

The proposed built form of development itself seeks a mixture of single and two storey buildings, reflecting the existing built form in the area. The layout has outward looking properties over frontages and open space areas which are well spaced which will result in a good layout. Concerns have been raised that the scale of the development is excessive and should be limited to single storey only. However, the number of units follows the outline permission and given the context of the area and the mixture of the built form readily visible from the site the proposed scale of single and two storey dwellings is considered acceptable and in accordance with Policies 5 and 22 of the NELLP.

It is also noted that concerns over the loss of the field and impact on the wider character of the area have been raised. Again, it is reiterated that planning permission has been granted for the development and it adheres to the principles established. It seeks to provide a significant amount of landscape planting which will provide ecological benefits over the existing agricultural land. Policy 42 of the NELLP seeks to deliver wider landscape networks that improve the 'green' links within the Borough.

The amended plans provided since the application was deferred have changed the elevational detailing on the various house types and have included the following changes; improved brick detailing on the gables, bolder chimneys, improved opening details and header/cill details. These changes have resulted in more traditional elevations enhancing the scheme further.

Full details of the landscaping planting and maintenance have also been provided which is considered to be of a high quality and will create a softer and green approach along Bradley Road as well as performing a strategic function in regard to the buffer planting to the rear of the site.

Having regard to the above it is considered that the design and layout responds to the sites location and setting and would result in a pleasing residential environment. The proposal therefore accords with Policies 5 and 22 of the NELLP and is considered to be

acceptable.

3) Highways

It is noted that a key aspect of the concerns raised by the Parish Councils and local representations is the traffic generation, the access into the site and the subsequent impact on highway safety and amenity. Policy 5 of the NELLP requires consideration of traffic generation, highway safety and amenity in all development proposals. These concerns are acknowledged but the application must be determined on the basis that 66 residential units have already been approved. It is the details of that permission which are being determined and to this end the Highways Officer is satisfied with that put forward. The requirements under outline planning permission DM/0997/16/OUT and in particular in the S106 Legal Agreement remain. This includes the moving of the speed limit, highway contributions towards upgrading the existing footway on Barnoldby Road, the provision of dropped kerbs and tactile paving and the provision of a zebra crossing across Bradley Road near to the site access. The highway contribution is £36,000 towards the footway works and £2,500 towards the Traffic Regulation Order. In terms of the actual layout development this again follows previously established principles and the design of the residential areas are considered acceptable by the Highways Officer.

It is therefore considered that the proposed development is in accordance with Policies 5 and 38 of the NELLP.

4. Impact on Neighbours

Policy 5 of the NELLP requires consideration to be given to the impact on neighbouring properties from development proposals. It is noted that there have been a large number of letters of objection received from neighbouring properties with a range of concerns. This includes the neighbours of particular importance numbers 51, 57, 57A and 59 Bradley Road. These neighbours are positioned directly adjacent to the proposed development.

In regard to the impact on no.51 Bradley Road, this is a semi-detached house with a long narrow rear garden. The proposed development would be all the way along its northern boundary. The proposed development has considered the potential impact on this neighbour by positioning smaller properties close to the boundary. This includes plot 1 which is a genuine bungalow, plots 3 and 4 are a pair of semi-detached bungalows. Plots 9 and 10 are a pair of semi-detached houses but well separated from the rear elevation of no.51. Given the separation distance and the limited number of openings on the rear elevation of the proposed properties, the impact on no.51's amenities would not be adverse. There would be no adverse massing or overlooking.

Nos.57, 57A and 59 are a group of dwellings that the site wraps around 3 boundaries; north, south and west. There are a mixture of boundary hedges around the properties of varying heights. The layout of the proposed development has been adapted to ensure

that the relationship between the development and these neighbours is acceptable. To the north plots 21 and 32 are detached houses but would present a blank side elevation to these neighbours. To the south plots 1 and 2 are single storey bungalows. It is noted that no.59 has a rear balcony which is very close to the boundary, however the site layout has responded to this by having an area of green space adjacent to it. Furthermore, no windows from the proposed dwellings directly face the rear elevation of no.59. Again, there would be no adverse massing or overlooking.

The proposed development would be visible to these neighbours and the views from various windows and garden space would change. However, the layout of the site has been designed to respect these neighbours so as to ensure that residential amenity is not adversely affected. The proposal therefore accords with Policy 5 of the NELLP.

The neighbouring properties on the east side of Bradley Road, opposite the application site, are sufficiently far enough away to not be unduly affected by the proposed development. Comments regarding views over the site and beyond are noted but there is not a right to a view in planning terms and as such the development would not conflict with Policy 5 of the NELLP.

Concerns have also been raised, by neighbours, regarding the position of the affordable housing units. Policy 18 of the NELLP requires the proposed development to provide 20% affordable housing. This calculates to 13 dwellings. It is the position of the proposed affordable units that raises concerns in terms of concentration of the affordable housing. However, the proposed affordable housing units would be of the same design and build quality as the market housing and would not be visually any different. Furthermore, the type and tenure of the units means that there is a mixture of social rent and shared ownerships and they are a dwellinghouse in land use planning terms. There is also a mix with the market housing. It is not for the planning process to dictate who should live in the dwellings. The properties will also be managed by a Registered Housing Provider in the normal way. It must also be noted that due to the layout and boundary with the open space these units do not overly concentrate onto neighbouring property and there is good spacing around the units.

Having regard to the above it is considered that the proposed site layout, including the layout of the affordable housing units, would not unduly affect the amenities of the neighbouring properties in accordance with Policy 5 of the NELLP.

5. Ecology and Amenity.

Ecological reports with the application conclude that there are no significant ecological constraints to the site's development. There is no evidence of other protected species, such as otters, bats or great crested newts. The proposed development presents an opportunity to improve the bio-diversity offer of the site utilising the landscape buffer zone and the landscaping within the main area of the site.

In terms of overall landscape and ecological value, the proposed development offers

opportunities to enhance the area. Large areas of publicly accessible open spaces are proposed. Opportunities will exist to create accessible routes for pedestrians into the open spaces.

It will be necessary for the applicant to provide a management plan for responsibilities and on-going maintenance of the open space.

It is noted that concerns have been raised regarding ecology and in particular water voles. Water Voles are protected species under the Wildlife and Countryside Act 1981. Policy 41 of the NELLP and section 15 of the NPPF require special regard to be had to protected species and wider bio-diversity.

An Ecology Survey has been submitted with the application. The habitat within the site for Water Voles has been reviewed, there is a drain to the north of the site and a small ditch to the west. The western ditch is not readily suitable to sustain Water Voles. The northern drain has potential for Water Voles and no evidence has been apparent on visits from the Ecologists for Water Voles to occupy the drain. However, as there is potential for Water Voles to move into the drain and ditch between this application being decided and development commencing a condition for a pre-development survey to be conducted and approved prior to development commencing is recommended.

It is therefore considered that the proposed development would not have an undue impact on any protected species and presents an opportunity to provide biodiversity gain through the planting of trees and landscaping. This is in accordance with Policies 5, 41 and 42 of the NELLP and section 15 of the NPPF.

6. Drainage and Flood Risk Issues.

Policies 5 and 33 of the NELLP and section 14 of the NPPF require development proposals to consider flood risk on the proposed development and how the development would impact on flood risk elsewhere.

The application site is within an area zoned Flood Zone 1 on the Environment Agency's Flood Risk Maps. As such, the area is considered to be at the lowest risk of flooding from rivers or the sea. The topographical survey of the site shows that it is relatively flat with the ground level sitting around 18.7m AOD.

The application follows the outline planning permission and a detailed sustainable surface water drainage scheme has been agreed with the Drainage Officer. It is recommended that any permission be conditioned to this scheme. Foul drainage details have been provided but is recommended to be subject of a final condition.

It is therefore considered that the proposed development would not increase the risk of flooding elsewhere and would not be at an undue risk of flooding itself. The proposal therefore accords with Policies 5 and 33 of the NELLP and section 14 of the NPPF.

7. Developer Contributions towards Education Provision and Affordable Housing

Reference has been made to the impact on local infrastructure and the S106 Legal Agreement for the outline permission provides for education contributions and affordable housing along with the required highway contributions. The education contributions are £146,593.72 towards primary education and £169,914.80 towards secondary education. With regard to affordable housing 13 units are proposed.

There is a need to secure the maintenance, in perpetuity, of the areas of open space. This is also included within the s.106 legal agreement.

CONCLUSION

This is a Reserved Matters application in relation to an approved outline planning permission on an allocated site in the North East Lincolnshire Local Plan 2013 to 2031 (adopted 2018). The principle of the building the housing has been approved through that outline permission. The 66 dwellings proposed accords to that number. The details for consideration under this application are acceptable in layout and amenity grounds and in terms of the highway layout. The designs and landscaping detail have been enhanced since the application was deferred at the April Committee. As a result the development is considered to accord with the North East Lincolnshire Local Plan and in particular Policies 1, 2, 5, 6, 13, 17, 18, 22, 33, 34, 36, 38, 40, 41, 42 and 43 and is recommended for approval.

RECOMMENDATION

Approved with Conditions

(1) Condition

The development shall be carried out in accordance with the following plans:

01-360-20 Rev A - Site location plan

02-360-20 Rev C - Proposed site layout

20.360.20 Coloured house type plan

E773-500 Engineering plan

House type plans - 05.360.20 Rev c, 06.360.20 Rev D, 07.360.20 Rev C, 09.360.20 Rev D, 10.360.20 Rev F, 11.360.20 Rev E, 12.360.20 Rev B, 13.360.20 Rev A, 14.360.20 Rev A, 17.360.20 Rev B and 18.360.20 Rev B.

Garage Plans 15.360.20 Rev B and 19.360.20

Tracking Layout Plans E773-065E and E773-06B.

Reason

For the avoidance of doubt and in the interests of proper planning.

(2) Condition

Development shall not begin until details of all external materials to be used in construction of the buildings have been submitted to and approved in writing by the Local Planning Authority. The development shall then be built out in accordance with the approved details.

Reason

To ensure the development has an acceptable external appearance and is in keeping with the visual amenity and character of the area in accordance with Policies 5 and 22 of the North East Lincolnshire Local Plan 2013-2032.

(3) Condition

The development shall be carried out in complete accordance with the Ecology Survey update by IEL Inspired Ecology dated 15th December 2020 and the original Ecology Survey by Scarborough Nixon Associates Dated August 2016.

Reason

In the interests of ecological enhancement in accordance with Policy 5 and 41 of the North East Lincolnshire Local Plan 2013-2032.

(4) Condition

Prior to the commencement of the development final details on foul drainage shall be submitted to and approved in writing by the Local planning Authority. All foul drainage shall be in accordance with the details approved.

Reason

In the interests of providing satisfactory foul drainage to accord to Policy 5 and 34 of the North East Lincolnshire Local Plan 2013-2032.

(5) Condition

Surface water drainage shall be in accordance with the details shown on plan E773-500 Engineering layout details.

Reason

In the interests of satisfactory surface water drainage to accord to Policy 33 of the North East Lincolnshire Local Plan 2013-2032

(6) Condition

Prior to commencement of development, full details of the children's play equipment to be installed and when it will be installed, a play space/equipment and open space

management plan including long term design objectives, timing of the works, management responsibilities and maintenance schedules for the play area/equipment and open space, shall be submitted to and approved in writing by the Local Planning Authority. The play equipment and public open space shall then be fully installed and subsequently managed and maintained in accordance with the details as approved through the lifetime of the development.

Reason

To ensure suitable play space and equipment is delivered in a timely manner in accordance with Policy 43 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(7) Condition

Prior to any development commencing on the site details of all finished floor levels and finished levels within the gardens of each plot shall be submitted to and approved in writing by the Local Planning Authority. The development shall then be built out in accordance with the approved details.

Reason

In the interests of amenity in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(8) Condition

Prior to any works commencing on the development an up to date Water Vole Survey shall be submitted to and approved in writing by the Local Planning Authority. Should Water Voles be found to be present then a mitigation strategy shall be submitted to and approved in writing by the Local Planning Authority and the development shall then only proceed in strict accordance with the approved details.

Reason

In the interests of wildlife protection in accordance with Policy 41 of the North East Lincolnshire Local Plan 2013-2032.

(9) Condition

Prior to the commencement development full construction details of the new crossing point on Bradley Road shall be submitted to and approved by the Local Planning Authority, to be informed by undertaking of an independent road safety audit. The crossing shall then be fully installed and made operational prior to any dwelling being occupied on the site.

Reason

In the interests of pedestrian safety in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(10) Condition

The landscaping detailed on plans ref:LP-MA-02-140521-Rev1, LP-P1-140521-Rev1, LP-P2-140521-Rev1, LP-P3-140521-Rev1 and LP-P4-140521-Rev1 and the attenuation pond shall be planted out and constructed in accordance with the details approved and all landscaping shall be completed within a period of 12 months, beginning with the date on which development began or within such longer period as may be first agreed in writing by the Local Planning Authority. All planting shall be maintained in full accordance with the Landscape Management Plan by Engie dated 8th July 2020, beginning with the date of completion of the planting of the whole landscaping scheme and during that period all losses shall be replaced during the next planting season.

Reason

To ensure a satisfactory appearance and setting for the development and continued maintenance of the approved landscaping in the interests of local amenity in accordance with Policies 5 and 42 of the North East Lincolnshire Local Plan 2013-2032.

(11) Condition

No construction works shall take place on the site until the 3 areas of woodland planting and new hedgerow along the western boundary of the site, as approved under condition 10, have been fully planted out.

Reason

To protect the visual amenity of the area in accordance with Policies 5 and 42 of the North East Lincolnshire Local Plan 2013-2032.

(12) Condition

No dwelling shall be occupied until the access road/s serving it has been constructed to at least base course level and the street lighting, approved through the conditions of this planning permission, has been fully installed and made operational. Within 12 months of any dwelling being first occupied on the site the access road/s serving it shall be fully constructed in accordance with the details approved through conditions of this planning permission.

Reason

To ensure access roads are made up as soon as possible and in the interests of public safety in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(13) Condition

No dwelling shall be occupied until the bin collection area serving it has been fully installed as detailed on 02-360-20 Rev D - Proposed site layout. Collection areas shall

thereafter be retained as such.

Reason

In the interests of amenity in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(14) Condition

Prior to the commencement of development details of main site boundary fencing shall be submitted to and agreed in writing by the Local Planning Authority and shall be installed as agreed prior to the commencement of development. Prior to occupation of any dwelling final details on boundary treatments as it relates to the respective dwelling shall be submitted to and approved in writing by the Local Planning Authority. Boundary treatments as approved shall be installed prior to the occupation of the dwelling to which they relate.

Reason

In the interests of amenity in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032.

(15) Condition

No development shall take place on any phase until the applicant has:

- (i) Submitted a Written Scheme of Investigation or Specification for Works, for a programme of archaeological work, to the Local Planning Authority.
- (ii) Received written approval of the Written Scheme of Investigation for a programme of archaeological work from the Local Planning Authority.
- (iii) Implemented or secured implementation of the Written Scheme of Investigation for a programme of archaeological work.

Occupation of the development shall not take place until the applicant has:

- (iv) Published, or secured the publishing of the findings resulting from the programme of archaeological work within a suitable media.
- (v) Deposited, or secured the deposition of the resulting archive from the programme of archaeological work with an appropriate organisation.

Reason

The site contains, or may contain, a Historic Environment Asset which requires recording prior to alteration or destruction to accord to Policy 39 of the North East Lincolnshire Local Plan 2013-2032.

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan 2013 to 2031 (Adopted 2018). The proposal would fulfil the development granted outline planning permission and not harm the area character or residential amenity and is acceptable under all other planning considerations including ecology, highway works and drainage. This proposal is approved in accordance with policies 3, 5, 6, 22, 33, 34, 38, 40, 41, 42 and 43.

2 Added Value Statement

Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by resolving highway design issues.

3 Informative

The applicants are reminded that conditions from outline permission DM/0997/16/OUT apply. Namely 5, 7, 8, 9, 10, and 11.

4 Informative

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 325959).

5 Informative

This application will require the creation of new postal addresses. You are advised to contact the Street Naming & Numbering Team on 01472 323579 or via email at snn@nelincs.gov.uk to discuss the creation of new addresses.

6 Highway Informatives

Advance notice Section 38

As the highways within the site are to be adopted by the Council, in accordance with Section 38 of the Highways Act 1980, please contact the Highway Management Team six months in advance of the commencement of works. (Tel: 01472 324505).

S106 Monitoring

Please note that this decision is subject to a Section 106 Legal Agreement and the requirement within it to contact the Monitoring Officer prior to development commencing and prior to the required contributions being made.

Pre Condition Inspection

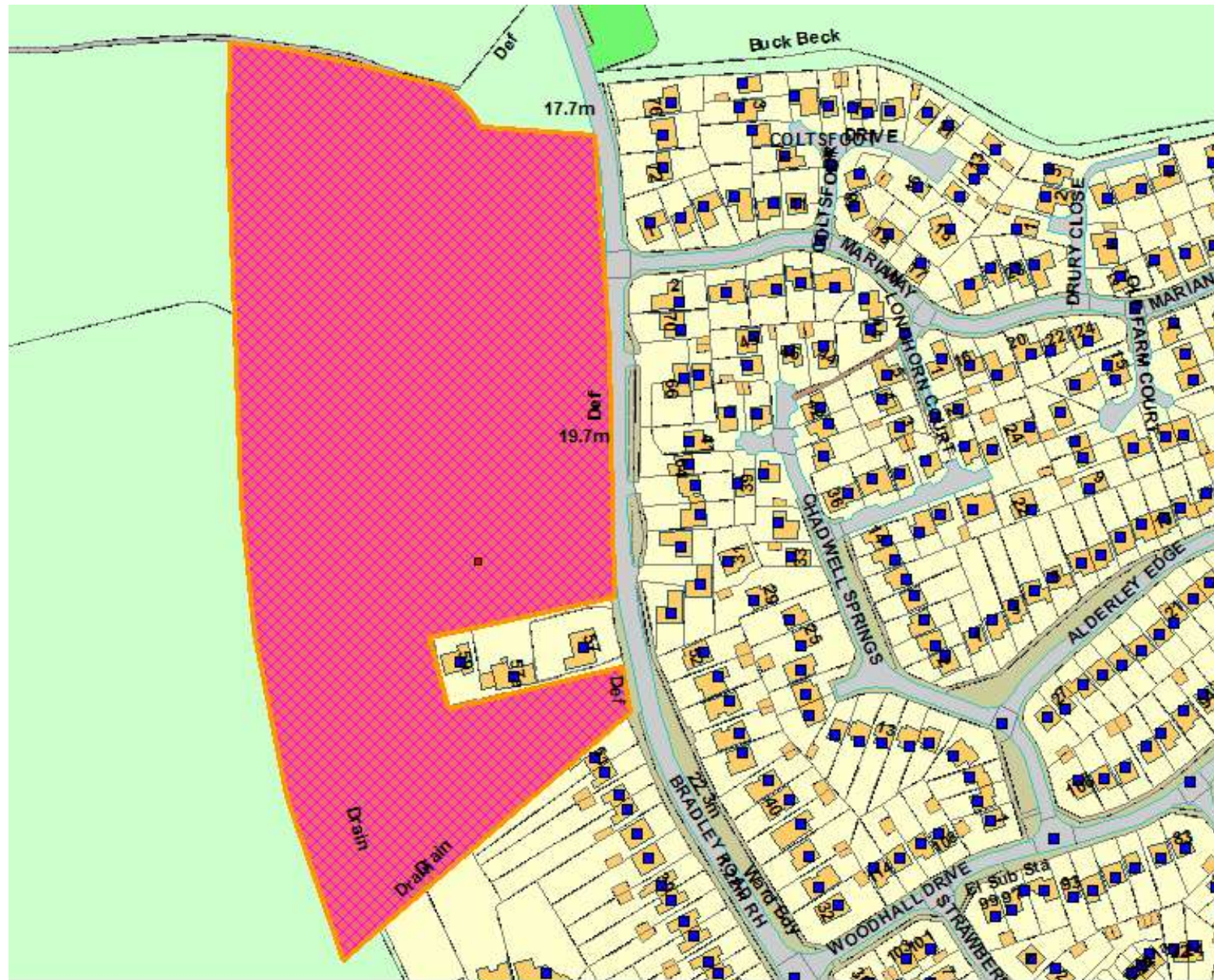
If the footway or carriageway is damaged as a consequence of any excavation or any other operations relating to the development, the Highway Authority may make good the damage and recover expenses reasonably incurred. You are required to contact the Highway Management Team at least 4 weeks prior to commencement of works to arrange for a highway pre-condition inspection (Tel: 01472 324431).

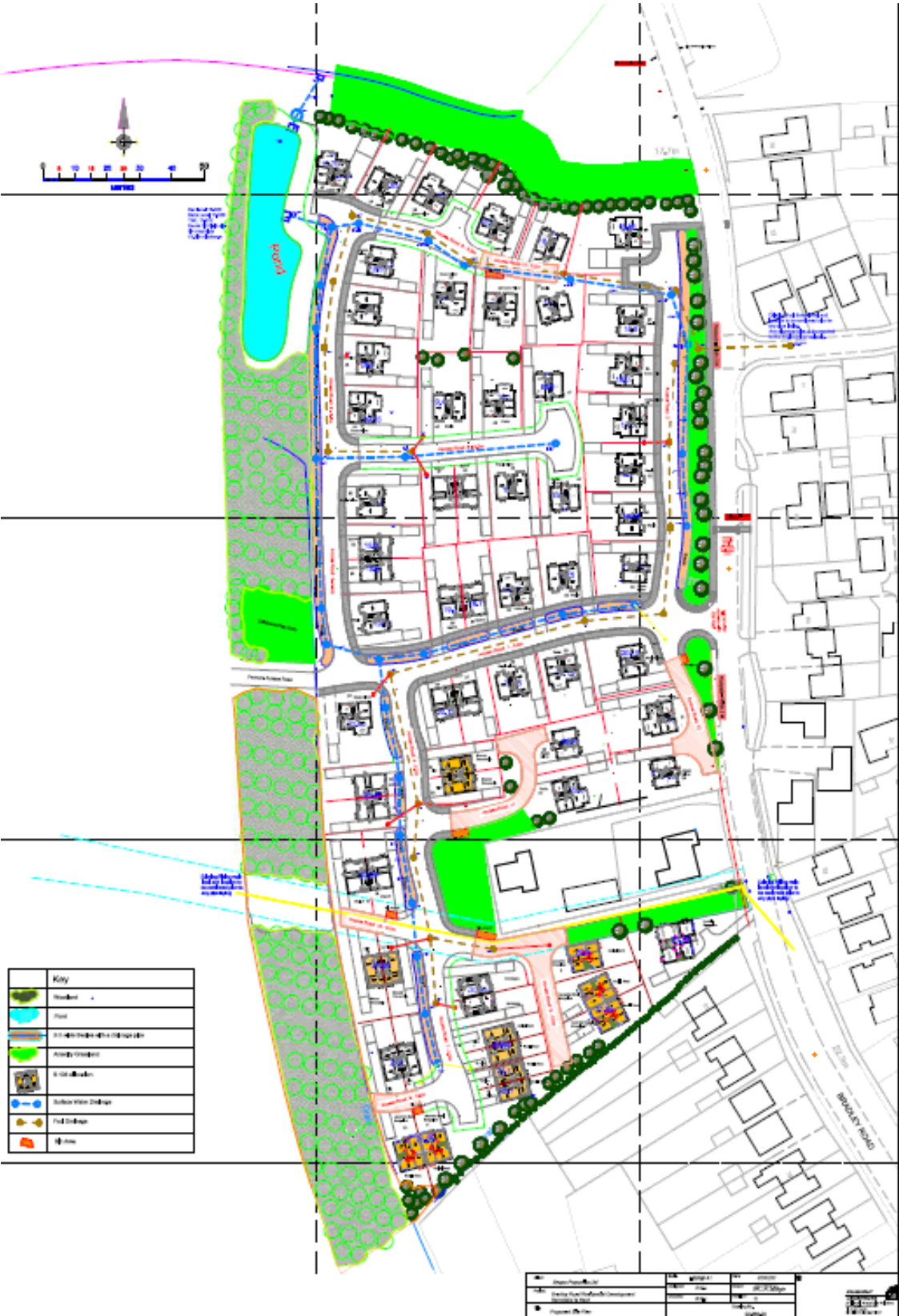
Advanced Notice Section 278

As works are required within the existing highway, in accordance with Section 278, Highways Act 1980, in order to enable the development to take place, please contact the Highway Management Team at least 6 months in advance of the commencement of works (Tel: 01472 324505).

Advance Notice Traffic Regulation Order

As a Traffic Regulation Order is required to be implemented, in order to enable the development to take place, please contact the Traffic and Road Safety Team at least 6 months in advance of the commencement of works. (Tel: 01472 324528).





PLANNING COMMITTEE - 14th July 2021

ITEM: 2 **RECOMMENDATION: Approved with Conditions**

APPLICATION No: DM/1038/20/FUL

APPLICATION TYPE: Full Application

APPLICATION SITE: Healing Village Hall, Great Coates Road, Healing, Grimsby, North East Lincolnshire, DN41 7QW

PROPOSAL: Change of use from village hall to a members only food sales outlet (sui generis) use

APPLICANT:

Mr Christopher Glass
The Georgian House
Main Road
Barnoldby Le Beck
Grimsby
North East Lincolnshire
DN37 0AU

DEPOSITED: 3rd December 2020

AGENT:

Mr S Marriott
Mother Architects
17 South Street
Caistor
Market Rasen
LN7 6UB

ACCEPTED: 16th December 2020

TARGET DATE: 10th February 2021

PUBLICITY EXPIRY: 1st April 2021

AGREED EXTENSION OF TIME DATE:

CONSULTATION EXPIRY: 9th January 2021

CASE OFFICER: Jonathan Cadd

PROPOSAL

This application seeks permission to use the current village hall as a retail type use but exclusively for the Plymouth Brethren. The development would operate in a similar manner as a retail membership club but would not be available for the general public to join. Approximately 40 families within the NE Lincolnshire area would form the membership of the club.

The building would not be altered in any significant manner and has a gross floor area of 240 sq.m. and a net retail floor area would be 108 sq.m. In addition, the floor area of the building would accommodate various storage areas staff accommodation and customer toilets. Access would be from Great Coates Road, Healing and an existing 6 spaces of

which one would be to accessibility standards.

The application is presented to Planning Committee following its deferment at the last meeting on 17 June 2021. The decision was deferred to allow further negotiations to take place with respect to the access gate and vehicles overhanging the highway. This has led to a proposal for an electric gate which can be opened before staff arrive at the entrance reducing the possibility of vehicles having to wait on the highway for access. The application was presented to the committee due to the number of objections received and it had been called in by Councillor Hasthorpe.

SITE

Existing village hall off Great Coates Road, Healing. The building is a single storey brick pitched roof structure with parking to the front. The building incorporates a 108 sq. metre main hall area with a smaller side meeting room, kitchen, toilets and storage areas.

The site is located to the eastern side of Great Coates Road and is surrounded by the Healing Academy (secondary) school (north and east) and is adjoining immediately to the north by the main school access road. To the south is a BT telephone exchange building whilst to the west across Great Coates Road are open fields. It should also be noted that the north bound bus stop and lay by is almost opposite the site to the west.

The site is located within the development area of Healing Village but is otherwise un designated, with the educational designation surrounding the site but not including it.

RELEVANT PLANNING HISTORY

DM/1013/18/FUL Change of use from village hall to retail premises with integral hot and cold sandwich bar Withdrawn

DC/664/06/WOL Erect extension to provide porch. Approved 2006

DC/423/09/WOL Erect rear single storey extension to existing village hall Approved 2009

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

National Planning Policy Framework (February 2019)

NPPF6 - Building a strong, competitive economy

NPPF12 - Achieving well designed places

NPPF7 - Ensuring the vitality of town centres

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO3 - Settlement hierarchy

PO5 - Development boundaries

PO22 - Good design in new developments

PO23 - Retail hierarchy and town centre develop

PO28 - Local centres

PO36 - Promoting sustainable transport

PO38 - Parking

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

REPRESENTATIONS RECEIVED

Consultees

Healing Parish Council (x2): No objection - Comments are summarised as: Parish Council has an interest in the land and will sell to the application if planning permission is granted. Any funds generated from the sale will go to building a new pavilion within Poplar Park Healing through the re use of run-down existing sports pavilion and extending it and improving access and parking.

Details of current vehicle usage of the site (pre covid) are provided a comparison (detailed within the appraisal section) but which indicate operational hours from 9am - 10pm and later at weekends.

The Parish Council indicate there has been no refusals of planning permissions on site, there would not be an increase in traffic use at the site, village hall activities will continue to run smoothly transitioning into the enhanced and safer facility at Poplar Park at the appropriate time. Also a large number of objections come from outside the Healing village area.

The parish outline the some of the applicant's church community do live within the village.

They also indicate that the applicant is willing to meet with the school to discuss their concerns and provide a history of the sale.

Highways: The application submitted is for the change of use from village hall to a members only food sales outlet.

The Highway Authority have worked with the applicant to obtain further information to address concerns raised throughout the planning process.

It is also noted that residents have concerns over the development. The Highway Authority have reviewed information pertaining to the number of proposed visitors to the store, especially given the close proximity to the school and the high volume of pedestrians at this location. The Highway Authority is content that the trips associated with the store will be appropriate for the location and will not cause a significant impact to the highway. The store is for the use of members to the Brethren and not for external public use.

The Highway Authority asked for clarity as to delivery and servicing for the store and has received swept path analysis showing the relevant vehicles can manoeuvre within the site to enter and exit in a forward facing gear. The applicant has also stated that they will ensure all deliveries avoid the school start and finish times to avoid any potential conflict with students walking to and from school.

The hall itself has a previous use which attracted a number of visitors and the proposal will reduce these visitor numbers.

Further to concerns raised by the Planning Committee, subject to conditions requiring the final details of the modified remotely operated gates to be submitted and agreed there are no objections to the scheme.

Heritage Officer: No input required

Environmental Protection: Request conditions re use of premise and delivery hours

Drainage: No comment required

NE Lincolnshire Drainage Board: the board has no comments on this application, the development does not affect the interests of the board

Site Notice and Neighbours: A substantial number of responses have been received which are summarised as:

Objections -

Healing Academy (x2): Healing School has approximately 1000 pupils. Pupils need safe access and exit from the school by foot, cycle, bus and car. Safety is paramount and volume of traffic at start and end of the school day already compromises safety. The school has sought to minimise these risks in last few years including preventing access to school and car park in an afternoon and is working to limit impacts to traffic flows on Low Road by working with parents and NELC to limit access to the school frontages. The proposal to allow new access and delivery vehicles at this point will significantly undermine the safety of children. A 2013 Transport Assessment within a TIA outlined that significant traffic volumes already use the road each peak hour (741 journeys south bound and 600 journeys north bound) which is beyond the roads capacity (before the school expanded so will be even greater now). Extra traffic generated by the proposal

would increase numbers and further conflicting movements. Delivery vehicle movements further increase concerns - the previous 2018 application outlined the dangers of delivery vehicles using this site.

Healing- Healing MAT; 17, 28, 37 and 90 Station Road; 4, 6 and 17 Oak Road; 1 (x2) and 10 Westwood Road; 6, 10 & 11 Cornflower Close; 8 and 20 Primrose Close; 1, 6 and 12A Great Coates Road; 15 Carlton Ave; 2 (x2), 8 and 19 Meadow Drive; 20 & 44 Stallingborough Road; 4, 20, 25, 30 (x2), 33E and 45 Wisteria Drive; 21 Poplar Road; 5, 21(x3) and 24 Snowdrop Close; 22, 32 (x2) and 61 Larkspur Avenue; 26 and 28 Fords Avenue; 4 Westwood Road; 49 Radcliffe Road; 8A (x2) Appletree Court; 9 Exmoor Close; Exmoor Close, 3, 12(x2) Forsythia Avenue and 11 Rowan Drive.

Great Coates - 1 Meadow Bank and 24 Gloria Way;

Grimsby - Lovelle Bacons Church Lane Grimsby (Trustee of Healing Academy); 200 Clee Road; 15 St Francis Avenue; 16 Dymoke Drive (x2); 22 Weelsby Road; 24, 54 (x2), 129, 291 and 319 St Nicholas Drive, 15 Thornhill Gardens, 25 Glebe Road Scartho; 3 Cowslip Court; Achille Road and Crosscoates Road

Other: 11 Mulberry Lane, 51 Keith Crescent, 8 Yews Lane and 4 Burley Close Laceby; 9 Manor Court (x2) Stallingborough; 84 Picksley Crescent Holton le Clay; 21 Yarborough Road & 4 Windsor Close Keelby; 4 Manor Farm Mews (x2) Bradley and 20 Saxon Close Barton upon Humber

Area outside of the school at drop off pick up times is excessively busy and dangerous for drivers and pupils. Its unmanageable with cars, buses, bikes and pedestrians. Only 10 am to 13:30 has sensible traffic levels. The bus stop is across the road from entrance increasing conflict. Additional traffic will make worse. Previous application DM/1013/18/FUL for a similar retail unit was withdrawn due to traffic concerns - the fact that it's a members club doesn't change concerns. The 2018 highway report in that application indicated that the risk of collisions was high. Parents of the school park everywhere with children standing in the middle of the road. A traffic and risk assessment should be provided to clearly understand impacts on school children

Traffic flows through the village will be impacted upon in a negative manner due to extra traffic and conflicting movements. Access and deliveries conditioned to avoid school pick up drop off times - large delivery vehicles will need to reverse in or out increasing danger or more likely park on the kerb increasing danger.

Village hall parking is always very difficult at the site and since railings have been erected views of the road are difficult. Access point is close to a sharp bend.

Very small car park. Why has car parking numbers reduced? previous withdrawn application had 12 spaces. Space for turning is positive but we all know human nature, if its difficult then people will take the easy option even if more dangerous.

Current usage of village hall by cars an over estimate

Previous commercial application withdrawn had deliveries from 7.5 ton but also 18 ton lorries why is this different?

Loss of village hall or slow redevelopment of proposal meaning loss of facilities. Conditioned to members only club - doesn't benefit Healing. Should be for villagers not outsiders. If building has to be used it should be available to all the public and employment should be for all.

Village needs a proper shop for all the houses that are being built in village. Site should be used by the school.

Children will snack on unhealthy food so close to school.

Increase in pollution

Planning reports should have a section on its Public Sector Equality Duty (s149 of the Equality Act 2010).

Support

1 Links Road Grimsby

Re use of a vacant building in these unprecedented times is positive and business will not find any issues now that parents cannot access the school for picking up children. Prohibition of hot food and alcohol takeaway sales required though.

APPRAISAL

The main issues in this application are:

- 1) Policy issues
- 2) Highway safety
- 3) Residential amenity
- 4) Design and character
- 5) Other issues

Appraisal

- 1) Policy issues

The site is an existing village hall within the development area of Healing (policy5). Policy 29 notes that the Council will support existing assets of social and cultural facilities This can take the form of support for new facilities and cultural places by:

- A) Supporting developments to extend or broaden the appeal of social and cultural facilities including proposals to co-locate facilities;
- B) Support the development of new social and cultural facilities.

In this instance, the proposal would allow the Parish Council to sell the current hall to the applicant and use the sale of this money to develop a new village hall complex within Poplar Park Healing. This would provide improved facilities but also the provision greater parking to provide a much more sustainable community facility within Healing. Currently the building is occupied by the Scouts and this would be enhanced and shared with the Parish. An extant planning permission, DM/0034/19/FUL, is in place and conditions discharged with works expected to commence in July. The Parish Council has indicated that although the sale of the current hall to the applicant is complete they are renting the hall back to ensure the provision of facilities for villagers can continue until the new facility has been completed. As such the proposal would comply with policy 29 of the NELLP.

Policy 23 of the NELLP seeks to support development within defined town centres, district centres and local centres, identified on the Policies Map. However, policy 23(4) indicates proposals for main town centre uses, specifically retail and leisure uses comprising 200m²

gross or more, in any location outside the defined primary shopping frontages, will only be acceptable if it is demonstrated that:

A. the development cannot be accommodated on a suitable site within first, the identified primary shopping frontages, then, within the defined town centre boundary, including identified opportunity sites, or finally close to, the town centre boundary (sequential test); and,

B. the proposed site is accessible and well-connected to the town centre; and,

C. development will not adversely impact upon the vitality and viability of any of the town centres, (impact test) having regard to:

- i. committed, planned or proposed public and private investment in the town centres;
- ii. evidence as to retail expenditure capacity which shows that the development would not adversely impact upon consumer choice and existing town centre trading levels.

The application site is not located within a designated town centre nor the local centre in Healing and the gross floor area of the building is 230 sq.m indicating that policy 23 (4) should be activated. The use has a retail type character but the applicant has provided clear detail which supports the proposition that the use should be treated as a private members retail club and be considered as a sui generis (unique use falling outside of standard use classes) which would not require rigid adherence to NELLP policies 23 and 28. The shop crucially would be exclusively for the members of the local Plymouth Brethren only and not the general public. It would not include sales windows and would not seek to generate passing trade through advertisement. Staffing would be on a

volunteer basis and any profits be directed to the Brethren OneSchool Global Uk project, the closest campus being at Scunthorpe. It is suggested that the proposal would support 40 families within NE Lincolnshire. Similar, but not identical arguments, have been supported in case law with reference to whether 'retail warehouse club uses (which require membership rather than simple visits by the general public) are sui generis uses, outside of the standard retail uses class groups, now classes (E(a) and F2(a)). Such uses have been accepted previously within NE Lincolnshire outside of usual town centre locations.

As such it can be accepted that the development would fall outside of the policy requirements of the NELLP (policies 23 and 28) but in any case, the applicant has indicated that due to the specifics of their group the positioning of their unit within town or local centres could be taken as being of detriment to these areas, creating closed frontages and limiting general activity which would only detract from a local centre rather than promoting its vitality. Also due to the specific parameters of the group sites have to be freehold and unencumbered and should have bespoke parking which many town centre and local sites do not have. Nonetheless the applicant has provided a search of local centres for suitable accommodation, within such parameters and has not identified a suitable property that would meet their needs within these locations.

Given the use would be strictly limited to the members of the Brethren, it is accepted that the use would not fall within the mainstream retail use classes and as such its position at Healing Village Hall would not breach the requirements of policies: 23 and 28 of the NELLP.

2) Highway safety

The positioning of the site adjoining the one of the main accesses to Healing Academy has created significant concern to the school, parents and villagers and forms the most significant objection to the scheme. This is understandable, the highway at this point becomes extremely busy at the start and end of the school day with parents seeking access to the site, dropping children off and accessing and exiting the highway at this point, along with children accessing the school by bus, bike and on foot. This together with passing traffic creates a particularly hazardous situation. It is noted that NELC/Engie have been working with the Academy to reduce some of these concerns. Any use therefore which increases activity on a highway which has particular issues are concerns as Great Coates Road does is a concern and requires careful consideration.

The proposed site plan shows 6 spaces on site along with a turning area showing that vehicles up to and including larger sports utility vehicles can enter park in a space and leave in a forward gear. This is positive safety consideration. It is noted that 6 spaces are somewhat less than a previous commercial scheme withdrawn in 2018 (DM/1013/18/FUL), or indeed the current village hall but this takes into account full manoeuvring area for vehicles. This includes delivery vehicles up to and including a 7.5 tonne delivery lorry - the largest scale anticipated a maximum of three times per week. A swept path analysis also shows that this sort of vehicle along with sprinter type vans are

able to enter turn and leave in a forward gear even if car parking spaces are fully occupied. Sight lines at the entrance are also deemed acceptable and whilst the entrance is only wide enough for one vehicle the levels of activity are limited as is shown below.

As the operation currently runs out of an industrial warehouse building in Grimsby it is possible to ascertain number of likely visits per day at the site based on this operation. These are based on till receipts and as such is likely to overestimate vehicle numbers as extended families often travel together. During school start and end times (8am - 9am) approximately 0-1 customers or 2 vehicle movements (in and out) currently visit the store on average each week whilst at 3pm - 4pm approximately 1 - 2 customers likely to visit (4 vehicle movements). The highest levels of visits being between 1 - 2pm being 4 - 5 customers (8 - 10 movements) which: a) can be accommodated within the available parking spaces on site but also b) the relatively low numbers of comings and goings at critical school start and end times. Similarly, the average number of visits across each day are also likely to be limited with on average 18.5 visits per day over the six operational days of the store although this varies day with the peak average days being Tuesday and Wednesday with approximately 28 and 30 visitors per day whilst Thursday to Saturday have on average 20 customers a day with Monday only having 10 customers across the day.

It is noted that the proposal, whilst retail in character, is such in its fullest sense as it does not seek to attract the general public to the site. The previous retail application for the site withdrawn (DM/1013/18/FUL) would have sought to maximise use and would have anticipation of higher customer levels and therefore concerns over traffic movements as people drop in for supplies whilst passing or leaving/picking up children off at the school were well founded. The restricted nature of membership to the Bretheren is therefore an almost a natural suppressant of activity which commercial retail uses actively seek to avoid. This reduced activity therefore provides some comfort in efforts to maintain safety. The applicant also notes that no parking for school users would be allowed at the site.

In making any assessment of the highway impact consideration should also be had to the current use of the site as a village hall which presently is unrestricted in its use. The Parish Council has provided details showing the site does not currently open until 10am so would have minimal impact on school start times but in the afternoon current hiring's generate approximately: 16 vehicle movements 2 - 3pm and 24 vehicles movements 3 - 5pm. As such the operation of the school and the hiring of the hall could generate significant vehicle movements. It is accepted some may well visit the hall by foot being a village facility but nevertheless the levels of traffic in an afternoon when the school is closing is likely to be somewhat higher than that of the proposal representing a betterment, whilst in the morning period the likely number of shoppers is extremely limited and would therefore represent minimal impact.

Two staff members are anticipated to volunteer at the store at any one time, not a dissimilar number of volunteers currently operating the village hall.

It is accepted by the nature of the applicant's group the use of sustainable transport

methods are unlikely to be acceptable but should this be required the site has good links to the local bus service with stops within the immediate proximity of the site and the cycle path network.

The positioning of the gate was a specific concern raised by the committee on the 17th June 2021 particularly as staff or deliveries could be required to park partially on the highway whilst the gate is opened. This could cause a vehicular hazard not just to the users of the carriageway but also the cycle path/ pavement. The applicant and officers (highways and planning) have discussed the matter and met on site. The movement of the gate inwards was deemed unacceptable by the applicant due to the loss of usable parking spaces but instead an electric sliding gate is proposed whereby staff members would press a remote control fob to allow the gate to start opening before they arrive at the entrance. This would reduce instances of vehicles having to wait at the gate to a minimum. Such a system would allow vehicles 100m from the site to activate the gate and 25 fobs can be connected to the system. In addition, the applicant has indicated that deliveries would not be expected unless staff were on site to receive the vehicle, again meaning vehicles could enter without impediment. Subject to conditions ensuring the gate's modification and retention as such it is considered that this scheme would meet the concerns over vehicles waiting on the highway for gates to open

It is noted that the Highway Officer has considered the information available, sought further clarification and has not objected. As such, on balance taking all the factors into account in this busy location, the proposal despite the objections would not represent an adverse impact on highway safety nor capacity and would accord with policies 5, 22, 36 and 38 of the NELLP.

3) Residential amenity

The site is mainly surrounded by the school but also the BT telephone exchange and as such would have minimal impact on the amenities of pupils and staff attending these sites. Opposite the site, however, are a small number of houses with permission granted for an additional dwelling at outline. The proposed use of the premises as outlined, however, is likely to have less of an impact than the activities of the Parish Hall in terms of residential amenity by its nature but also hours of use which could be controlled through conditions. It is therefore considered that the proposal would accord with policies 5 and 22 of the NELLP.

4) Design and character

Externally the building would not alter maintaining the character of the area, in accordance with policies 5 and 22 of the NELLP whilst any advertisement would be minimal by reason of not needing to advertise for trade any advertisement would have to adhere to the advertisement regulations.

5) Other issues

The closed nature of group using the site, is noted, but whilst this has some impacts on specific physical material planning considerations, as noted above, it is not in principle an issue to be considered by the planning system.

CONCLUSION

The use of the premises as a member only retail use is not deemed to harm community facilities within Healing as an enhanced facility elsewhere in the village has permission and work is scheduled to start in July. In the intervening period the hall would be rented back by the Parish to allow activities to continue. Similarly, as a restricted members only retail use, it would fall outside of the usual planning use classes and would not therefore be required to accord with the locational retail sequential and vitality requirements of policies 23 and 28 of the Local Plan.

The development, however, would be located in busy and congested location, close to the entrance to Healing Academy where children arrive and leave in large numbers. In highway terms, therefore this is a significant concern in safety terms and that of capacity. Vehicle turning into and out of the site at these times, (including servicing) could therefore detract from safety and weigh against the proposal in any planning balance. The applicant has, however, provided details based on existing operations that vehicle movements would not be high, that vehicles could turn within the site, parking space numbers would be sufficient and servicing could also be undertaken within the site. This together with conditions limiting net retail floor area and the use would be sufficient to limit activity to acceptable levels that allow a recommendation to be granted.

RECOMMENDATION

Approved with Conditions

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

The building shall be used solely as a members only retail club and for no other purpose.

It shall be used exclusively by the Members of the Plymouth Christian Brethren Church community for retail club purposes only and shall not be open to the public or available none retail club purposes.

Reason

In order to protect the vitality of existing local and town centres and in the interest of highway capacity and safety in accordance with policies: 5, 23, 28 and 36 of the North East Lincolnshire Local Plan 2013 - 2032 (adopted 2018).

(3) Condition

Before the building is first brought into use the car parking and manoeuvring areas shown on approved drawings 030/0196, 042/0196 and 043/0196 shall be laid out and ready for use. This layout shall be retained as such thereafter and the areas shown for manoeuvring shall be available for use at all times.

Reason

To ensure adequate car parking and manoeuvring facilities are available in accordance with policies: 5, 22, 36 and 38 of the North East Lincolnshire Local Plan 2013 - 2032 (adopted 2018).

(4) Condition

No deliveries of goods to the site, whether by lorry or van, shall occur before 07:00 or after 19:00 and nor between the hours of 08:00 to 09:00 and 15:00 to 16:00 Monday to Friday or before 08:30 nor after 18:00 on Saturdays and before 10:00 nor after 16:00 on Sundays and Public and Bank Holidays.

Reason

To limit the impact on highway safety and capacity at the busiest times of the day in relation to the dropping off and picking up of students at the adjoining school and in the interest of residential amenity in accordance with policies 5 and 36 of the North East Lincolnshire Local Plan 2013 - 2032 (adopted 2018).

(5) Condition

The premises shall not be open for trading outside the following hours:

Monday to Friday	09:00am	to	10:00pm
Saturday	09:00am	to	10:00pm
Sundays, Public and Bank Holidays	09:00am	to	18:00pm

Reason

In the interests of residential amenity accordance with policy 5 of the North east Lincolnshire Local Plan 2013 - 2032 (adopted 2018).

(6) Condition

No machinery shall be operated, no process shall be carried out and no deliveries to be taken in or dispatched from the site in connection with the change of use hereby approved outside the hours of 9.00 am to 3.00pm and 4.00pm - 6.00pm Monday to Friday, 8.00 am to 1pm Saturday and not on Sundays or Bank Holidays or any other time unless agreed in writing with the Local Planning Authority.

Reason

To protect the amenities of nearby residents and highway safety and in accordance with policies 5 and 36 of the North East Lincolnshire Local Plan 2013 - 2032 (adopted 2018).

(7) Condition

The development shall not be carried out except in complete accordance with the approved plans and specifications. The approved plan numbers are: 001/0196, 011/0196, 020/0196, 030/0196, 040/0196, 041/0196 and 042/0196.

Reason

To ensure the development is in accordance with the approved details and results in a satisfactory form of development and in accordance with policies 5, 22, 33 and 38 of the North East Lincolnshire Local Plan 2013 - 2032 (adopted 2018).

(8) Condition

The net trading retail area of the members only food sales outlet shall be no more than 108 sq. metres.

Reason

To limit the impact on the surrounding area, potential traffic generation/ highway safety and the vitality of the local and town centres and in accordance with policies 5, 23, 28 and 36 of the North East Lincolnshire Local Plan 2013 - 2032 (adopted 2018).

(9) Condition

Prior to the use hereby approved first commencing, details of an upgraded remotely operated sliding gate system to the main entrance of the site shall be submitted to and agreed in writing by the Local Planning Authority. The approved gated system shall be completed prior to the use first commencing and shall be retained as operational thereafter.

Reason

To reduce the potential for vehicles waiting on the highway/cycleway whilst gates open thereby maintaining highway safety in accordance with policies 5, 22 and 36 of the North East Lincolnshire Local Plan 2013 - 2032 (adopted 2018)

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the area character or residential amenity, highway safety and capacity, vitality of the town and local centres and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policies 5, 22, 23, 28, 33, 36 and 38 of the North East Lincolnshire Local Plan 2013 - 2032 (adopted 2018).

2 Added Value Statement

Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by working with the applicant to ascertain traffic levels and serving details, parking arrangements and imposing conditions to limit the impact on the surrounding area.

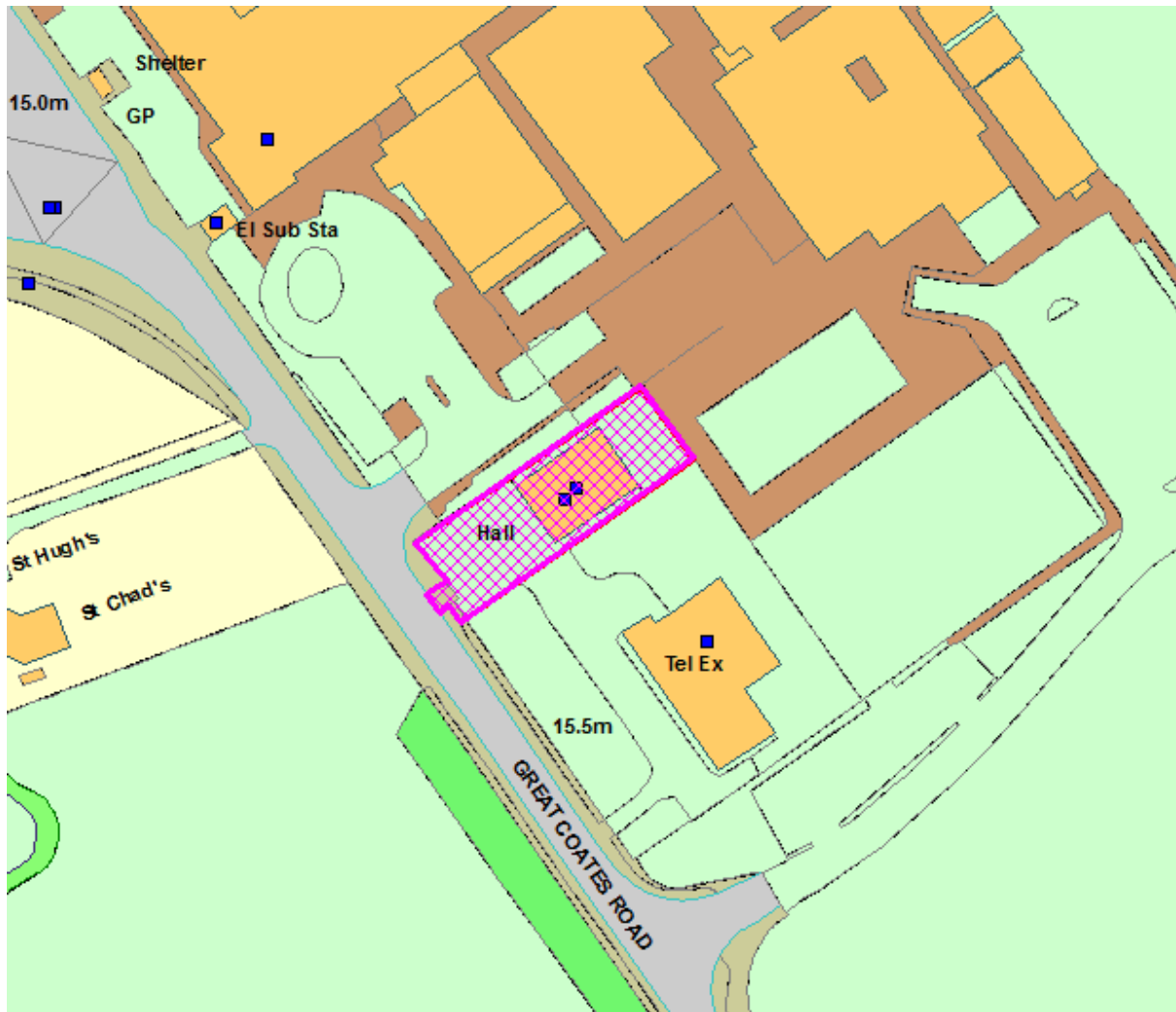
3 Informative

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 325959).

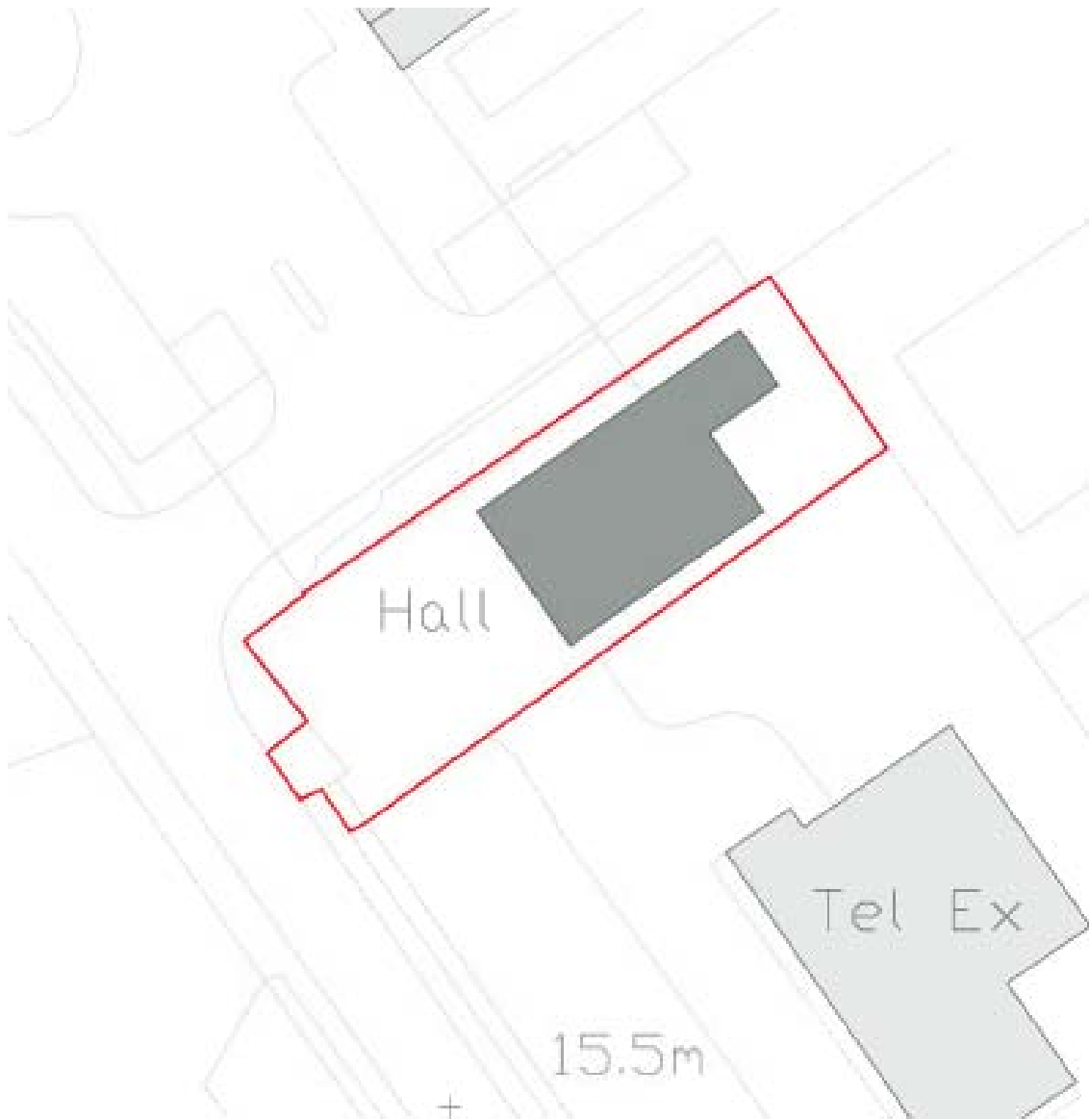
4 Informative

The remotely operated sliding gate system required by condition 9 should be based on details provided by Mother Architects Ltd on 1st July 2021.

DM/1038/20/FUL – HEALING VILLAGE HALL, GREAT COATES ROAD, HEALING



DM/1038/20/FUL – HEALING VILLAGE HALL, GREAT COATES ROAD, HEALING



PLANNING COMMITTEE - 14th June 2021

ITEM: 3 **RECOMMENDATION: Approved with Conditions**

APPLICATION No: DM/0426/21/FUL

APPLICATION TYPE: Full Application

APPLICATION SITE: 74 Stallingborough Road, Healing, North East Lincolnshire, DN41 7QL

PROPOSAL: Erect single storey rear extension with roof lights to existing garage to form pool room, retain play equipment to rear of garden, erect porch to front elevation and alterations to boundary treatments to include installation of gate

APPLICANT:

Mr M Crome
74 Stallingborough Road
Healing
North East Lincolnshire
DN41 7QL

AGENT:

Mr Dieter Nelson
Dieter Nelson Planning Consultancy
Unit 2 Cleethorpes Business Centre
Jackson Place
Wilton Road
Humberston
Grimsby
DN36 4AS

DEPOSITED: 23rd April 2021

ACCEPTED: 28th April 2021

TARGET DATE: 23rd June 2021

PUBLICITY EXPIRY: 4th June 2021

AGREED EXTENSION OF TIME DATE:

CONSULTATION EXPIRY: 23rd May 2021

CASE OFFICER: Emily Davidson

PROPOSAL

The proposal is to erect a single storey extension with rooflights to existing garage to form a pool room, erect a porch to the front elevation, alterations to the boundary treatment including a new gate and to retain the play equipment to the rear of the garden.

The application is presented to committee as the Parish Council have objected to the application.

SITE

74 Stallingborough Road is a detached property located on the north east side of the road. The area surrounding the property is residential to the rear and fields to the front. The properties surrounding the host dwelling are mostly detached.

RELEVANT PLANNING HISTORY

No relevant planning history.

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

National Planning Policy Framework (February 2019)

NPPF12 - Achieving well designed places

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO5 - Development boundaries

PO22 - Good design in new developments

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

REPRESENTATIONS RECEIVED

Consultee Representations

Heritage Officer - No heritage input required.

Drainage Officer - Request for a sustainable drainage condition alleviated with further information.

Healing Parish Council - Recommend refusal

Civic Society - Play equipment should be relocated then supports application.

Neighbour Representations

4 Acorn Close - objects to the application on grounds of overlooking.

6 Acorn Close - Concerns raised in relation to the pool room alleviated by further information

APPRAISAL

Principle of Development

The site is located within the development boundary of Healing, therefore Part 1 of Policy 5 of the North East Lincolnshire Local Plan (NELLP) 2018 applies. Policy 5 does not preclude the extension or alteration of a dwelling in principle within the defined development boundaries. It is therefore considered in principle that the proposed development is acceptable subject to the site-specific impacts discussed below.

Design

The property adjoins dwellings on Stallingborough Road and Acorn Close. The property would be left with an acceptable level of amenity space should the proposal be carried out.

The porch would change the principle elevation of the property, however its design would remain in keeping with the street scene. The proposal includes alterations to the front boundary in the form of some fencing on an existing wall and solid timber gates. The fencing is no higher than the existing pillars and has curved design. The property opens out onto a busy road with no properties opposite. In this particular context, the amendments to the boundary are relatively common in such locations and would not pose a negative effect on the character of the area. The extension and play equipment would not be seen from Stallingborough Road with limited views from Acorn Close and there would be no adverse impact on the character of the area. The extension and porch would be constructed from materials which would match the existing outbuilding which would ensure a satisfactory finish. Play equipment is not uncommon in gardens of residential properties. With regard to design and character it is considered that the proposals are in accordance with Policy 22 of the NELLP 2018.

Neighbouring Amenity

The host dwelling adjoins No.76 to the north west, No.'s 4 and 6 Acorn Close to the north east, No.72 to the south and open fields to the west. Neighbour representations were received from No.'s 4 and 6 Acorn Close.

No.4 Acorn Close raised objections in relation to overlooking from the play equipment. It should be noted that the play equipment has already been installed. However, in order to mitigate this, the platforms are proposed to be moved further from the adjoining boundary. The applicant has also suggested the planting of a hedge. No.4 has raised potential concerns in relation to these hedges, though it is considered that it is common place for boundary hedges. The platforms are now proposed to be covered with a pitched roof. This would prevent users of the play equipment standing up within these. Play equipment of this type is common place in gardens and it is not unusual to find them against boundaries. It should also be noted that it is only the platforms that require planning permission. No.4 has also raised concerns in relation to noise. However, as a

rear garden, domestic noise from it is expected and normal. Mitigation has been negotiated as stated. The play equipment would not cause negative effects in terms of massing and overshadowing. In relation to the hedge this will soften the applicant's boundary and if left to grow will help to screen the play equipment. However, from a planning perspective, it is considered that the physical changes to the play equipment are such to negate the impact and there is no need to condition the planting of the hedge. Legal covenants, impact on insurance costs and value of the property are also raised but these are not considered to be planning considerations that weigh against the development.

Given the separation between No.4 and the garage extension to create the swimming pool, there would be no impact in terms of massing, overlooking or overshadowing, especially as the building is single storey. Light pollution from the pool room extension should not be adverse as again, such outbuildings are common. No.4 would remain unaffected from the porch and boundary alterations.

No.6 Acorn Close will remain unaffected by the porch and boundary changes. They initially raised a query as to the location of the plant equipment in relation to the pool. The plans were updated to show this would be located at the furthest point from these properties. Again, due to separation and the single storey nature of the pool room extension, massing and overshadowing would not be a concern. Moreover, the existing boundary treatments would ensure any windows would be screened to prevent overlooking. In relation to the play equipment there is minimal impact in terms of massing, overshadowing and overlooking.

The play equipment adjoins the boundary of No.76. There is an existing outbuilding in the neighbouring garden. There is a reasonable degree of separation between this property and the garage extension to create the pool. The boundary alterations and porch would cause little impact. Overall, there would be no impact in terms of overlooking, overshadowing, and massing.

The garage extension to create the swimming pool is located closest to the boundary of No.72. The building would be single storey, which, with existing boundary treatments, would ensure that there would be no negative impacts in terms of overlooking, overshadowing and massing. There would be no significant issue in these same considerations in relation to the porch and changes to the boundary.

Given the nature of the opposite field, it would remain unaffected by the proposal.

Considering that which is discussed above, it is deemed that it would be unlikely that any of the surrounding properties would experience any negative impacts from the development and it is therefore considered in accordance with Policy 5 of the NELLP 2018.

CONCLUSION

The mitigation measures put in for the play equipment reduces the impact on the neighbouring properties to an acceptable level. The other elements proposed are considered acceptable. The application is therefore considered to be in accordance with Policies 5 and 22 of the NELLP 2018 and is recommended for approval.

RECOMMENDATION

Approved with Conditions

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

The development shall be carried out in accordance with the following plans:

Site Location, Block Plan and Play Equipment Details 784-1 B

Existing and Proposed Front Elevation and Boundary Details - 784-2

Existing Plans and Elevations - 784-3

Proposed Pool Plans and Elevations - 784-4 B

Reason

For the avoidance of doubt in the interests of proper planning and in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(3) Condition

The proposal shall be constructed using materials specified on the application form received 23/04/2021 unless otherwise first approved in writing by the Local Planning Authority.

Reason

This condition is imposed in the interests of design considerations in the context of the existing buildings in order to comply with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policies 5 and 22.

2 Added Value Statement

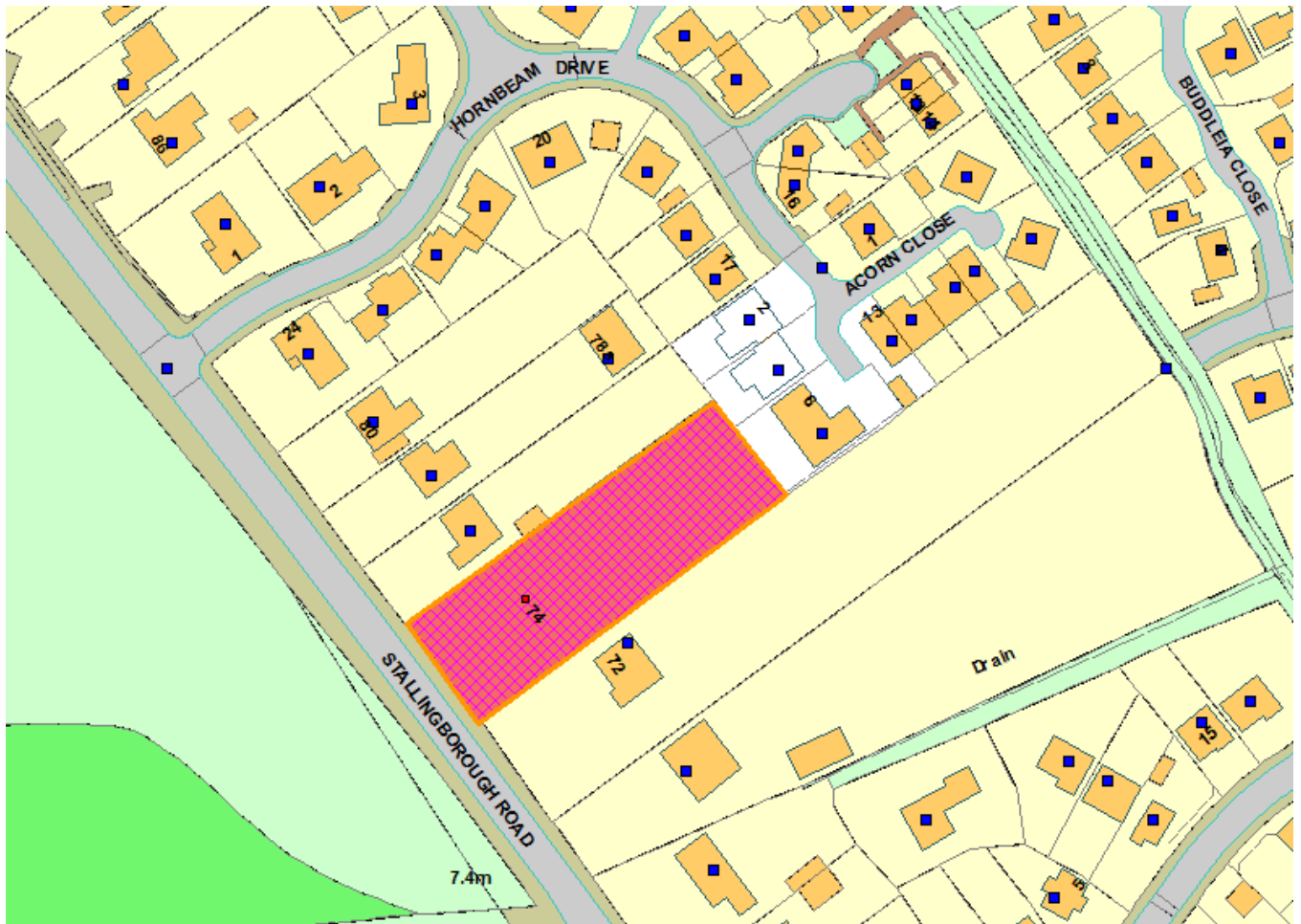
Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by securing additional mitigation measures.

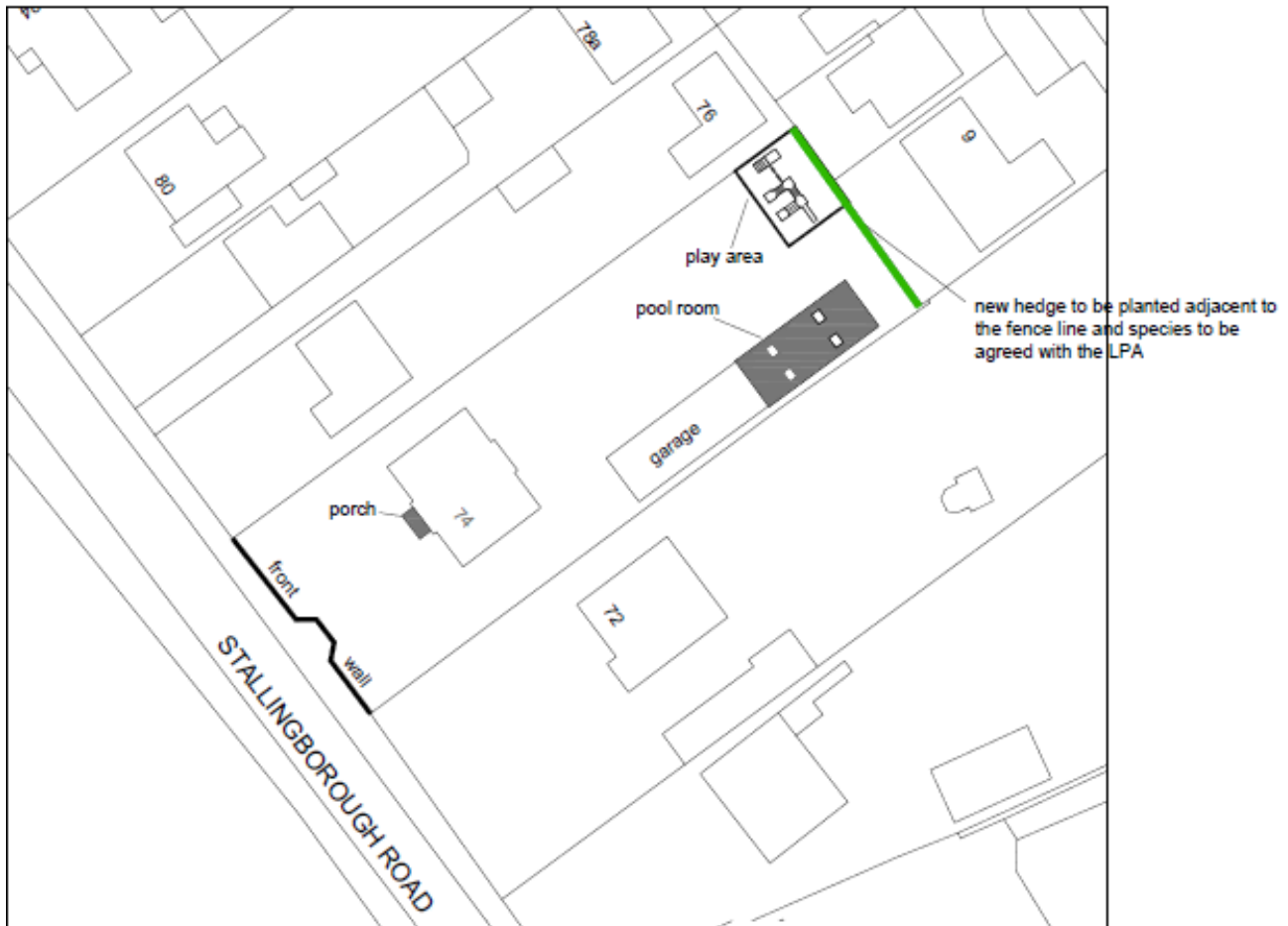
3 Informative

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 325959).

DM/0426/21/FUL – 74 STALLINGBOROUGH ROAD, HEALING



DM/0426/21/FUL – 74 STALLINGBOROUGH ROAD, HEALING



1:500 - Site Plan

PLANNING COMMITTEE - 14th July 2021

ITEM: 4 **RECOMMENDATION: Approved with Conditions**

APPLICATION No: DM/0350/21/FUL

APPLICATION TYPE: Full Application

APPLICATION SITE: Valley Cottage, Hatcliffe Road, West Ravendale, North East Lincolnshire, DN37 0RY

PROPOSAL: Demolish an existing dwelling, erect new dwelling with a detached garage, a detached barn / stables block with boundary treatments, access, landscaping and boundary ditches (amended plans June 2021)

APPLICANT:

Mr Aidan Jones
The Old Vicarage
Cabourne
LN7 6HU

AGENT:

Mr Matt Deakins
Ross Davy Associates
Pelham House
1 Grosvenor Street
Grimsby
North East Lincolnshire
DN32 0QH

DEPOSITED: 1st April 2021

ACCEPTED: 27th April 2021

TARGET DATE: 22nd June 2021

PUBLICITY EXPIRY: 6th July 2021

AGREED EXTENSION OF TIME DATE:

CONSULTATION EXPIRY: 22nd May 2021

CASE OFFICER: Richard Limmer

PROPOSAL

The proposed development is to demolish the existing cottage on the site and erect a new large detached two storey house in its place along with a detached garage. The proposal also includes the erection of a stable block and the change of use of agricultural land for the keeping of horses. There is also extensive landscaping proposed across the site and new boundary treatments.

For clarity the proposed dwelling would be partially dug into the slope of the site with the base level taken from the front of the site. The eaves of the front part of the main dwelling

would be 6.5m high and the ridge 10.5m high. The rear wing is lower at 5.3m to the eaves and 8.5m to the ridge. The proposed detached garage measures 3.4m to the eaves and 6.4m to the ridge and would have storage space within the roof.

This application is presented to Planning Committee due to the number of objections received from the local community.

SITE

The site is located between the villages of East Ravendale and Hatcliffe in the open countryside and within the Lincolnshire Wolds Area of Outstanding Natural Beauty (AONB). The site currently plays host to a small detached single storey cottage with a modest curtilage. The applicant however owns the mature woodland to the north known as Browns Bottom Plantation and approximately 2ha of agricultural land to the east of the cottage.

Generally the site rises up from south to north away from the road. There is a residential neighbour directly to the west of the site known as Highfield. With regard to boundary treatments for the housing part of the site the northern boundary is formed by the woodland, the eastern boundary has a hedge along it, the southern boundary is open to the road and the western is a mixture of hedging and trees with Highfield. The agricultural land is open to the north, east and south and shares the western boundary with the site for the dwelling.

RELEVANT PLANNING HISTORY

DC/819/12/WOL - demolish existing cottage and erect new detached two storey house - approved (now expired)

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

National Planning Policy Framework (February 2019)

NPPF5 - Delivering a sufficient supply of homes
NPPF12 - Achieving well designed places
NPPF14 - Climate, flooding & coastal change
NPPF15 - Conserv. & enhance the natural environ.

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO5 - Development boundaries
PO22 - Good design in new developments
PO33 - Flood risk
PO34 - Water management
PO41 - Biodiversity and Geodiversity
PO42 - Landscape

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

REPRESENTATIONS RECEIVED

Environment Agency - no comments

Northern Power - no objections

Tree Officer - comments but no objections

Drainage Officer - no objections but condition for surface water drainage

Highways Officer - no objections but conditions

Heritage Officer - no comments

Environmental Health - no objections but conditions for demolition and construction

Neighbours and other representations

The following neighbours have objected to the proposed development with concerns over:

- Impact on the AONB and visual character of the area;
- Impact on ecology;
- Size of the proposed dwelling;
- Size and use of the stables and barn;
- Impact on amenities of the neighbours;

Highfield, West Ravendale
132 Cemetery Rd, Ipswich
Flat 2, 542 Kingston Rd London
317D Richmond Rd London
128 Mellison Rd London
16 Old Park Avenue, London
4 Chester Path, loughton
Flat 5, 46 Falcon Rd, London
126A Plough Rd, London

107 Kenwick Rd, Louth
Telford House, Barton Street, Ashby
Gunnerby House, Hatcliffe
Lawn Cottage, Barff
121 Pelham Avenue, Grimsby
The Crossways, East Ravendale
Top Farm, West Ravendale
Montrose, Barnoldby le Beck

The following neighbours have expressed their support for the proposed development:

The Orchard, Hatcliffe
Hollymead, Barton Street, Ashby
5 The Glade, New Waltham
2 Grange Cottages, Swallow
163 Louth Road, Grimsby
41 Weelsby Av, Grimsby
The Lawns, Barnoldby le Beck
The Old Vicarage, Legbourne
21 Glebe Road, Grimsby
Hills Brough Farm, Rothwell
20 Silverbirch Rise, Scunthorpe
58 Westkirke Av, Grimsby
Thornhayes, Brigsley
31 Nelson Way, Grimsby
34 Tetney Road, Humberston
41 Waterside Drive, Grimsby
6 Beckside, Rothwell
62 Phyllis av, Grimsby
Clickem Inn
Hambleton Hill, Market Rasen
1 Augusta Close, Grimsby
20 Kings Road, Cleethorpes
26A Cumberland Rd, Grimsby
28 Broadway, Grimsby
5 The Drive, Waltham
The Old Vicarage, Cabourne
Villa Vintage, North Thoresby
11 Alington Drive, Grimsby
131 St Peters Avenue, Cleethorpes
14 Galba Rd, Caistor
144 Grimsby Rd, Humberston
16 Saunders Close, Caistor
26 Drury Lane, New Waltham
28A Riby Rd, Keelby
3 Albatross Drive, Grimsby

31 Keith Crescent, Laceby
385 Seawall Lane, North Coates
41 Pelham Rd, Grimsby
43 Weelsby Rd, Grimsby
44 Newstead Av, Holton le Clay
5 St Edmunds Court
62 Pelham Av, Grimsby
66 Bradley Rd, Waltham
7 Beech Lane, Humberston
8 Thornbury Drive, Grimsby
83 Springfield Rd, Grimsby
9 Nerva Drive, Caistor
Cherokee Spruce, Ulceby
Home Farm Cottage, Aylesby
Ironstone Lodge, Normanby
Jonathans Garth, Tetney
Mill View, Caistor
The Orchards, Laceby
The Elms, East Ravendale
The Rectory, Grimsby
Valley Cottage, East Ravendale
Walnut Cottage, East Ravendale
Mill Field Barn, Nettleton
The Old Rectory, East Ravendale

APPRAISAL

Planning Considerations

- 1) Principle of Development
- 2) Impact on Neighbouring Land Uses
- 3) Impact on the Character of the Area
- 4) Drainage

- 1) Principle of Development

The proposed development can be split into two main elements, firstly a replacement dwelling and secondly the erection of stables and change of use of land for grazing of horses.

In terms of the proposed replacement of the existing dwelling the site is located in the Open Countryside on the NELLP Maps. Policy 5 of the NELLP does not preclude the replacement of existing dwellings in the open countryside but does require special consideration to be given to the impact of the proposed development on the character and appearance of the area. It is also noted that p.79 of the NPPF accepts replacement

dwellings in the open countryside as being a sustainable form of development. It is therefore considered that the proposed replacement of the existing dwelling is acceptable in principle, the site specific impacts of which will be considered in the report below.

In regard to the proposed stable block and change of use of the land from agricultural to grazing for horses Policy 5 of the NELLP acknowledges that some uses and agricultural diversification require an open countryside location. The stabling and grazing of horses is considered to be one of those acceptable uses. In the majority of cases it would be impractical for such a use to located within the urban area.

The proposed stable block details 5 stables, a tack and feed room and a barn for machinery. The overall land area is circa 2ha (5 acres). The British Horse Society advises a minimum of 1acre of grazing per horse. The proposed development achieves this advised minimum standard.

It is therefore considered that the proposed stable block and change of use of the land is acceptable in principle, the site specific impacts will considered in the report below.

2) Impact on Neighbouring Land Uses

The site is located in the open countryside and benefits from having only one immediate residential neighbour. This is Highfield to the west of the site. The proposed dwelling is positioned somewhat centrally within the site at the closest point it is 11m from the boundary and 24m from the side elevation of Highfield. There are 2 first floor side windows (1 corridor and 1 bedroom) on the rear wing that face towards Highfield these are 22m from the boundary and 36m from the side elevation. It is also noted that there is a strong boundary hedge and trees that provide a level of screening. The proposed detached garage is positioned approximately 4m from the boundary and 17m from Highfield.

It is considered that the proposed development is in a position and of a scale that would not result in an unduly detrimental impact on the neighbouring properties residential amenities and in particular those of Highfield to the west of the site. There would be no adverse massing or overlooking issues. There are other residential properties in the location but these are significantly further away and would not be impacted upon.

3) Impact on the Character of the Area

It is noted that there have been several objections received that cite the impact on the Lincolnshire Wolds AONB as being significant and detrimental. It is noted that the NPPF requires the same level of consideration to be given to the intrinsic quality of AONBs as National Parks.

It is of course acknowledged that the proposed dwelling will be visible in the immediate and somewhat wider area. Views to the site will be extensive from Hatcliffe Road but also the B1203 and the public bridleway to the south. It is noted that the public bridleway to

the south and also Hatcliffe Road leading to Hatcliffe is part of the Wanderlust Way. NELCs only nationally designated walking route.

However, houses of similar scale to that proposed are common place in this area of the Wolds with several in and around East Ravendale and Hatcliffe, some of which hold equally as prominent positions as the proposed. The proposed dwelling has also been designed around a traditional farmhouse of which there are again similar examples in the local area. Strong and detailed gables are proposed with feature chimneys and a strong vertical emphasis through the window design and use of openings. Key detailing around the brickwork and openings has been provided to ensure that the finish of the dwelling is of quality. To ensure this a condition is proposed to agree the final materials prior to works commencing, the nature of the proposed scheme means that a high quality red brick and clay pantiles should be used.

The scale of the proposed stable block has also been raised as a concern and its prominence in the local area. It has been designed as a traditionally formed brick and tile 'C' shaped block. This is a common design in the wider area and across the AONB for agricultural buildings. In the same vein as discussed above for the dwelling similar scale and design of buildings are common in the wider area.

To help soften the development a very detailed and comprehensive landscaping scheme has been provided. This has been subject to extensive negotiation with Officers. It is considered that subject to conditions for its implementation and maintenance it will help soften the visual impact of the development and help raise the quality of the overall scheme. It also assists with increasing and improving bio-diversity on the site which is a key consideration of Policy 41 of the NELLP.

It is therefore considered that the proposed development as a whole would not offer harm to the immediate or wider area or the designation as an Area of Outstanding Natural Beauty. The proposal therefore accords with Policies 5 and 22 of the NELLP.

Comments have been received that highlight the potential for the stable block to be used commercially or changed to a dwelling at a later date. The application has been submitted on the basis of private equine use and to ensure this is the case a condition should be included restricting the use to the private stabling of horses and equine use only. Any future proposed use as a residential property would require planning permission in its own right and considered on its merits at that time and is not something to be controlled at this time.

4) Drainage

The proposed development has a significantly larger footprint to that of the existing dwelling and there is the footprint of the stable block to consider as well. The Drainage Officer has considered the submitted drainage scheme but considers that there should be further consideration towards the use of soakaways to ensure that the sustainable drainage hierarchy is followed fully. A condition is therefore required to cover this and

require the full detailed drainage scheme to be submitted. Equally foul water drainage is detailed to go to a package treatment plant, the full details of this are required prior to development commencing. It is considered with the inclusion of these conditions the proposed development would accord with Policy 33 of the NELLP.

CONCLUSION

In conclusion, whilst it is noted that the application has attracted a large number of comments both in support and against the development it is considered to accord with Policies 5, 22, 33 and 41 of the NELLP and the core principles of the NPPF. This is in specific regard to the impact on neighbours, the character of the area and AONB and drainage and flood risk. It is therefore recommended that the application is approved.

RECOMMENDATION

Approved with Conditions

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

The development shall be carried out in accordance with the following plans:

RD4497 - 13G Proposed site plan
RD4497 - 14C Proposed garage plans and elevations
RD4497 - 15B Proposed block plan
RD4497 - 06 Existing site plan
RD4497 - 08D Proposed stable plans and elevations
RD4497 - 16 Site location plan
RD4497 - 12E Proposed house elevations
RD4497 - 10C Proposed ground floor plans
RD4497 - 11D Proposed first floor plans

Reason

For the avoidance of doubt and in the interests of proper planning.

(3) Condition

Development shall not begin until details of all external materials to be used in construction of the buildings have been submitted to and approved in writing by the Local Planning Authority. The material palette shall include natural clay pantiles for the roof covering, timber windows and details of the brick tumbled. The development shall then be built out in accordance with the approved details.

Reason

To ensure the development has an acceptable external appearance and is in keeping with the visual amenity and character of the area in accordance with Policy 22 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(4) Condition

Notwithstanding the Town and Country Planning (General Permitted Development) Order 2015 (or any statutory amendment thereto), no development under Schedule 2 Part 1, Class A, B, C and E shall be permitted within the curtilage of the dwelling.

Reason

To protect the visual character of the area in accordance with Policy 5 and 22 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(5) Condition

The hereby approved stable block shall be used for the private stabling of horses only in connection with the hereby approved dwelling and the barn element shall only be used for the storage of machinery for the maintenance of the paddock within this planning application site area.

Reason

In the interests of amenity and sustainability in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(6) Condition

No development shall commence until a scheme for the sustainable provision of surface water and foul water drainage has been submitted to and approved in writing by the Local Planning Authority. The development shall then be carried out and only occupied in accordance with the approved details.

Reason

To prevent an increased risk of flooding by ensuring the provision of a satisfactory means of surface and foul water disposal in accordance with Policy 33 and 34 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(7) Condition

Prior to the development commencing, a Construction Management Plan shall be submitted to and approved in writing by the Local Planning Authority. The development shall then proceed in accordance with the approved details. The plan shall contain:

- Working hours;
- Visitor and contractor parking areas;
- Materials storage area;
- Wheel cleaning facilities;
- Noise, vibration and dust mitigation measures (both during demolition and construction);
- Construction traffic management plan.

Reason

In the interests of highway safety and to protect the residential amenities of the neighbouring properties in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(8) Condition

Prior to development commencing on the approved development a detailed long term (minimum of 10 years) habitat improvement and management plan shall be submitted to and approved in writing by the Local Planning Authority. The approved plan shall then be fully implemented in accordance with its terms.

Reason

To protect and improve the biodiversity of the site in accordance with Policies 5 and 41 of the North East Lincolnshire Local Plan 2013-2032.

(9) Condition

The scheme of landscaping and tree planting shown on drawing ref: 200904 Planting Plan Rev D and Arboricultural Planting Scheme Rev D, shall be completed within a period of 12 months, beginning with the date on which development began or within such longer period as may be first agreed in writing by the Local Planning Authority. All planting shall be adequately maintained for 5 years, beginning with the date of completion of the scheme and during that period all losses shall be replaced during the next planting season.

Reason

To ensure a satisfactory appearance and setting for the development and continued maintenance of the approved landscaping in the interests of local amenity in accordance with Policy 42 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(10) Condition

All tree works shall be carried out in accordance with the Arboricultural Method Statement

Ref. 200904.

Reason

In the interests of tree protection in accordance with Policy 42 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(11) Condition

Prior to development commencing a detailed Tree Protection Plan, showing full details of the position and style of the tree protection measures, shall be submitted to an approved in writing by the Local Planning Authority. The approved Tree Protection measures shall then be fully installed prior to development commencing and retained in place throughout the construction of the development.

Reason

To protect the trees on site in accordance with Policy 42 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(12) Condition

The demolition of the existing dwelling shall be carried out in full accordance with the Demolition Method Statement (Demolition Method Statement by BSN Agri Services).

Reason

In the interests of amenity and health and safety in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(13) Condition

The site access drive shall be built out in accordance with the plans referenced 1115-2017-CIV-30-P1 (Access Works) and 1115-2017-CIV-10-P2 (Engineering Layout).

Reason

In the interest of highway amenity in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(14) Condition

Prior to occupation of the dwelling, final details of how water will be reused and recycled on site shall be submitted to and agreed in writing by the Local Planning Authority. Once approved, the details shall be implemented and adhered to at all times following first occupation.

Reason

To ensure the efficient use of water and to accord with Policy 34 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

2 Added Value Statement

Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by providing detailed pre-app advice.

3 Informative

This application will require the creation of new postal addresses. You are advised to contact the Street Naming & Numbering Team on 01472 323579 or via email at snn@nelincs.gov.uk to discuss the creation of new addresses.

4 Informative

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 325959).

5 Informative

As highways within the site are to be adopted by the Council, please contact Highway Management Team on 01472-324532 well in advance of works commencing.

6 Informative

The applicant should be aware of the comments and requirements of Northern Power as set out in their consultation response.

DM/0350/21/FUL – VALLEY COTTAGE, HATCLIFFE ROAD, WEST RAVENDALE



DM/0350/21/FUL – VALLEY COTTAGE, HATCLIFFE ROAD, WEST RAVENDALE



PLANNING COMMITTEE - 14th July 2021

ITEM: 5 **RECOMMENDATION: Refused**

APPLICATION No: DM/0528/21/FUL

APPLICATION TYPE: Full Application

APPLICATION SITE: Tale Of Two, 2 - 3 Alexandra Road, Cleethorpes, North East Lincolnshire, DN35 8LQ

PROPOSAL: Erect single storey front extension

APPLICANT:

Tale of Two Ltd
17 Old Court Road
Brigg
DN20 8JD

AGENT:

Mr Matt Deakins
Ross Davy Associates
Pelham House
1 Grosvenor Street
Grimsby
DN32 0QH

DEPOSITED: 20th May 2021

ACCEPTED: 20th May 2021

TARGET DATE: 15th July 2021

PUBLICITY EXPIRY: 15th July 2021

AGREED EXTENSION OF TIME DATE:

CONSULTATION EXPIRY: 18th June 2021

CASE OFFICER: Jonathan Cadd

PROPOSAL

This application seeks permission to erect a single storey extension to the front of the property 2-3 Alexandra Road (Tale of Two), Cleethorpes.

The structure incorporates sliding glazed walls and a concertina roof which can be retracted leaving a mostly open metal (powder coated) frame. In cooler periods it would act as a fully enclosed glazed structure. It would project 5.7m forward of the building and have a height of 3.1m.

This application is presented to committee at the request of Councillor Freeston.

SITE

The application site is a three storey property utilised as a public bar and restaurant. Historically, the structure would have been two properties but is now in single ownership and use. The building has been extended to the rear and has a raised patio area to the front adjoining the highway but retains many of the original features including: full height bay windows which have been retained and refurbished in a traditional manner.

The proposal site is located within the urban development area of Cleethorpes and within the Cleethorpes Central Seafront Conservation Area. The property is part of a row of 5 buildings, most likely former Victorian villas. The two properties to the north-west are armed forces clubs, with the Navy occupying the adjoining building and The RAF within number 5.

To either side of the property the buildings retain many of the traditional built features.

RELEVANT PLANNING HISTORY

DM/0455/19/FUL Proposed first and second floor extension at the rear and change of use of existing offices to extend existing wedding functions venue on the second floor of existing bar and restaurant. Approved Aug 2019

DM/0006/16/FUL - Retrospective external rear alterations, blocking up windows, door, gate, lifting flat roof, extending flat roof, removal of external stairs, in connection with previous application referenced DM/0968/15/FUL (Change of use of upper floors of former hotel into extended restaurant with associated facilities, extended and amended ground floor bar and alterations to forecourt) - Approved with Conditions March 2016

DM/0968/15/FUL - Change of use of upper floors of former hotel into extended restaurant with associated facilities, extended and amended ground floor bar and alterations to forecourt - Approved with Conditions December 2015
Principle of Development

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

National Planning Policy Framework (February 2019)

NPPF7 - Ensuring the vitality of town centres
NPPF12 - Achieving well designed places
NPPF16 - Conserv. & enhance the historic environ.

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO5 - Development boundaries
PO12 - Tourism and visitor economy
PO22 - Good design in new developments
PO23 - Retail hierarchy and town centre develop

PO25 - Cleethorpes town centre opportunity site
PO39 - Conserve and enhance historic environ

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

REPRESENTATIONS RECEIVED

Highways: (in summary) On the basis of the information provided, the Highway Authority is content with the proposal. In coming to this conclusion, the Authority has considered issues of highway access, capacity and safety; parking, servicing and sustainability.

Heritage Officer: (in summary) This proposal seeks to create a glass enclosure to the front of the two buildings which will completely obscure the original frontage. This structure would be legible as modern and intrusive, but it will have a negative effect on the host building and the conservation area. This is particularly pertinent as so much work is currently ongoing to restore the Victorian frontages in this area that this extension would be even more jarring to the eye and detrimental to the conservation area. These proposals will cause harm to the building which is specifically highlighted as making a positive contribution to the conservation area in the Conservation Area Appraisal. It is recommended that this application be refused on heritage grounds.

Drainage: (In summary) In order to help mitigate against future flood risk due to climate change, surface water discharge from the proposed extension should be drained using sustainable drainage techniques, rather than connecting into the sewer.

Townscape Heritage Project Officer: This property lies within The Central Sea Front Conservation Area which has been designated at Risk by Historic England. The front facade of No 2 and 3 is a fine example of Victorian architecture which has been sympathetically restored in the past. This proposed modern enclosure is visually intrusive and will detract and obscure the Victorian architectural features. It is recommended that this application should be refused on heritage grounds.

Environmental Protection: (in summary) It may require a condition to control amplified entertainment from the new extended area (if they want speakers in the area). Discussions re options with the applicant, if speakers are proposed in this area.

Neighbours/Public/Site Notice:

Support

43 Alvingham Avenue Cleethorpes , 54 Watford Avenue Grimsby, 71 Stanier Way
Renishaw Sheffield, Almshouse Hill Bramham Wetherby, Speedwell Mill, Old Coach
Road Tansley Matlock Derbyshire

Comments in summary: Will make areas usable all year round even in bad weather,
design looks great, is tasteful and fits in with the area and will be attractive to locals and
tourists. Given the terrible year this will go along way to assist the business and the
longevity of the town. Investment in vital to the economy

Object

Clee Auto Centre 13 - 19 Knowle Street Cleethorpes

As a neighbouring business premises we already experience issues regard business
waste, fire risks due to flammable items namely cardboard and rodent infestations as a
direct result from the waste left by the business- Tale of Two within the unadopted road
that is adjacent to my premises and directly at the rear of Tale of Two's premises. If the
capacity of Tale of Two increases, this in due course will increase the waste produced by
this particular business. I therefore oppose the application on those grounds.

APPRAISAL

Main issues

- 1) Principle of development
- 2) Design and impact on character of the area and heritage considerations
- 3) Residential amenity
- 4) Drainage
- 5) Other issues

- 1) Principle of Development

The application site is within the development area of Cleethorpes (policy 5) and relates
to the change of use, extensions and alteration of an existing commercial property.
Located within the designated Cleethorpes Town and policy 23 indicates that restaurant
and drinking uses are appropriate in these areas and in general developments Policy 23
(3) are expected to:

- A. enhance the centre's attractiveness, as a place to visit, work and socialise, in line with
policies relating to primary shopping frontages;
- B. contribute to a mixture of mutually compatible and complementary uses;
- C. maintain and sustain the quality of historic environment;

D. have particular regard to the desirability of retaining and improving traditional shop fronts;

Clearly the use of the premise is already established and this proposal would represent a business opportunity which would enhance the properties floor area and attractiveness to customers supporting Cleethorpes tourist and recreation sectors. This is an important consideration in the planning balance.

The principle of development is therefore acceptable in use terms (policies 5 and 23) provided that the proposal does not give rise to significant issues in terms of residential amenity and that the design and impact on the character and appearance of the conservation area. These aspects will be considered below in more detail.

2) Impact on Character of the Area and Conservation

The property is located within a Central Cleethorpes conservation area and policy 23 (3)C and policy 39 applies. As such the design of the proposed external alterations should look to preserve or enhance the conservation area.

Central Cleethorpes Conservation Area is supported by the Conservation Area Appraisal and the Central Cleethorpes Sea Frontage is the recipient of Heritage Lottery funding recognising that the conservation area is at risk and the importance of retaining the quality of the Victorian and Edwardian structures which characterise this area. The aims of the Townscape Heritage Project, is to restore and preserve the heritage along the seafront, focusing on Alexandra Road and Sea View Street. The Townscape Heritage Project seeks to restore the historic shop fronts and buildings back to their Victorian splendour, this includes reinstating missing bay windows, replacing PVCu windows with timber, restoring balconies and restoring other lost features such as decorative stonework.

2- 3 is typical of properties at this end of Alexandra Road being three storey's in height with a full and one two storey height wooden bay windows. These window bays provide a key characteristic of this area of the conservation area. The property is maintained to a high standard and has been the subject of previous investment by the owner. The property forms a key block of 6 properties including the RAF Club which has had significant investment to remove a front porch recently to allow the original features of the building such as the bay windows to be seen. The outcome of this is to provide a unified attractive appearance to the block in this prominent location.

This proposal seeks to create a modern metal framed glass enclosure to the front of the building which whilst glazed would completely obscure the original frontage. This modern addition to the building (whilst contemporary and reasonably designed in itself) would also provide a dominant horizontal feature to the building at odds with the vertical emphasis of the original architecture emphasised by the window sizing and tall bay windows. The structure would also be wholly out of character with the aims for the conservation area, and indeed works undertaken, to protect and restore these very

frontages through successful Heritage Lottery Funding. The structure would be prominently located on an existing raised patio area and would extend outwards by 5.7m making it a legible and highly prominent feature which would appear incongruent in character when seen amongst the Victorian frontages in this area. The proposal therefore due to its design, scale and position would be appear e even more jarring to the eye and detrimental to the historic assets of conservation area. Such a development would be contrary to policies 5, 22, 23 and 39 of the NELLP.

3) Local amenity

The area is presently used as an outdoor eating area/ smoking area as part of the overall use of the premise. Its enclosure would perhaps intensify this area's use but would not be out of keeping with the immediate surrounding uses which are of similar uses albeit limited by membership. Indeed, both the RAF and Navy Club have outdoor seating areas. The Nottingham Public House and other venues are also located within close proximity to the property but also residential flats above first floor and at The Point which need consideration. Use in the colder months would intensify activity in this front area but during these times the glazing and roof louvre's would be likely to be closed limiting some noise and nuisance but could still lead to some nuisance. The Environmental Protection team have outlined concerns over the potential for amplified music in this area and if this is sought further discussions will need to take place to see if this could be achieved without detriment to neighbouring amenity. Nevertheless, in overall terms the use of this area now (with the potential for patio heaters) leads to a conclusion that it is unlikely that the extension would have a significantly detrimental impact on residential amenity in accordance with policies 5, 22 and 23 of the NELLP, particularly if conditions sought to limit amplified music in this area.

Concerns have been raised that the structure would limit light and sunlight to adjoining properties and whilst it would have a clear impact its position set in from the boundaries and single storey height would limit this impact to acceptable levels. Similarly, no one has a right to view and whilst the extension would limit the overall vista visible from the adjoining properties the proposal would still allow views of the estuary to remain. Nonetheless the structure would still represent a large projecting structure to the Navy Club.

4) Drainage

The patio is presently a hard surfaced area and the creation of the extension over the majority of this area would not increase impermeability of the site. Nevertheless, the drainage team have sought advice notes seeking a more sustainable solution to run off. Had the proposed extension been deemed acceptable in design and heritage terms it is likely that details would have been requested to investigated this or conditions imposed. As such whilst no detail is provided it is considered that the use of conditions would allow an acceptable scheme to be provided.

5) Other issues

The objection to the scheme regarding refuse storage capacity is noted but this additional floor area is already in use as an outdoor patio area in summer months and as such the proposal would not lead to a significant increase in refuse as a result.

CONCLUSION

The proposed glazed extension would provide an additional area of enclosed space which could be used fully in all seasons not just in summer which would assist to grow this business but also the local economy which weighs in favour of the proposal. Similarly, due to the current use of the patio the impact on neighbours, in terms of noise and nuisance, subject to conditions would not be unacceptable.

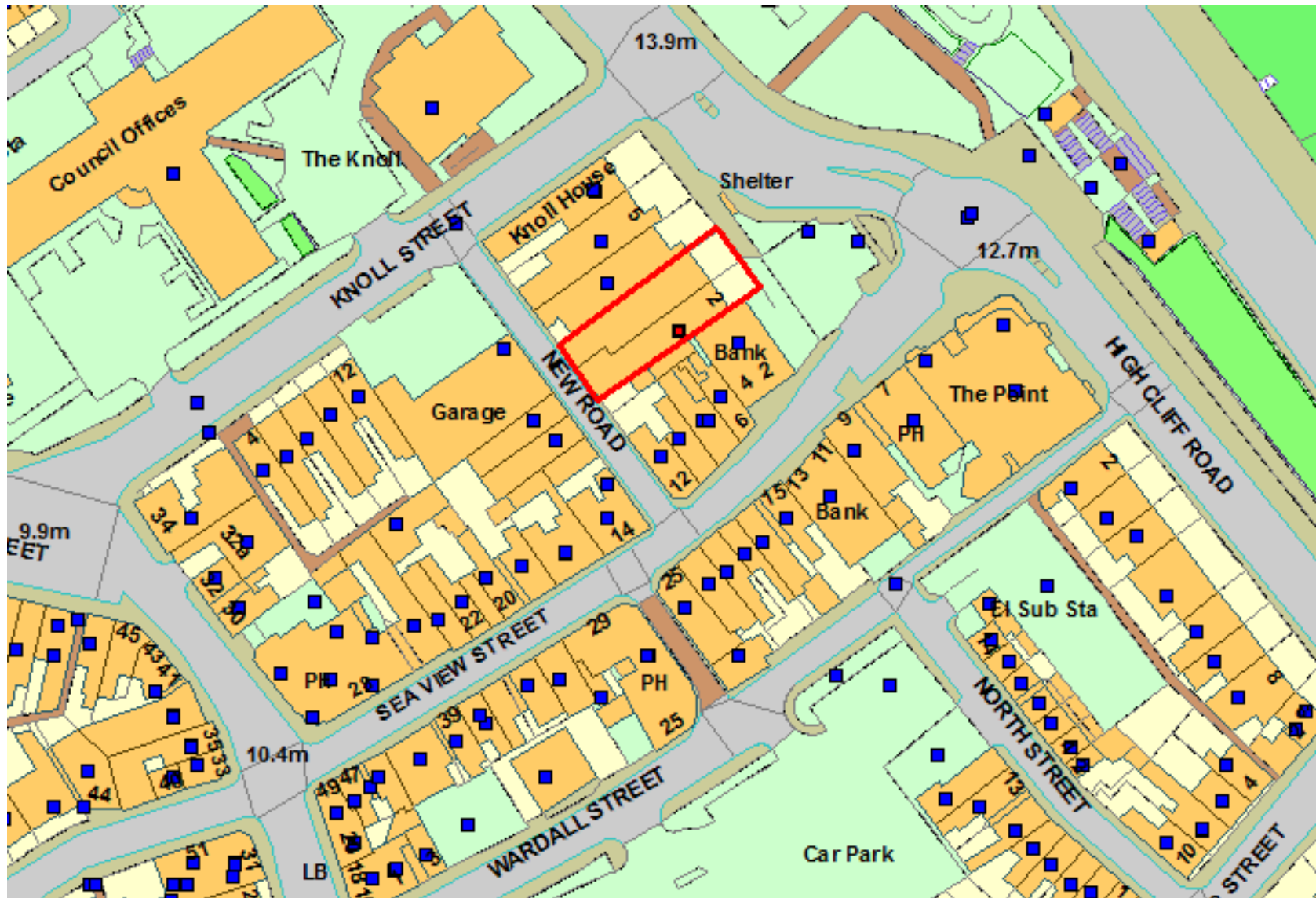
The application site, however, is located within a prominent and key part of the Central Cleethorpes Conservation Area, which is presently deemed by Historic England as at risk through the loss of historic and traditional building features and is indeed the subject of a Heritage Lottery Grant to replace these features to enhance the traditional high quality character to the area. The proposed extension would completely obscure the buildings original frontage with its traditional character features with a large, incongruent and intrusive feature out of keeping with an important heritage building and the conservation area. Given the importance of heritage in this key part of Cleethorpes and as a positive environment for tourists (indeed with heritage funding support available for the restoration of the traditional built environment) the detrimental impact on the appearance of the building and the character of the conservation area is deemed to outweigh, in this instance, the benefits of the scheme contrary to policies 5, 22, 23 and 39 of the North East Lincolnshire Local Plan.

RECOMMENDATION

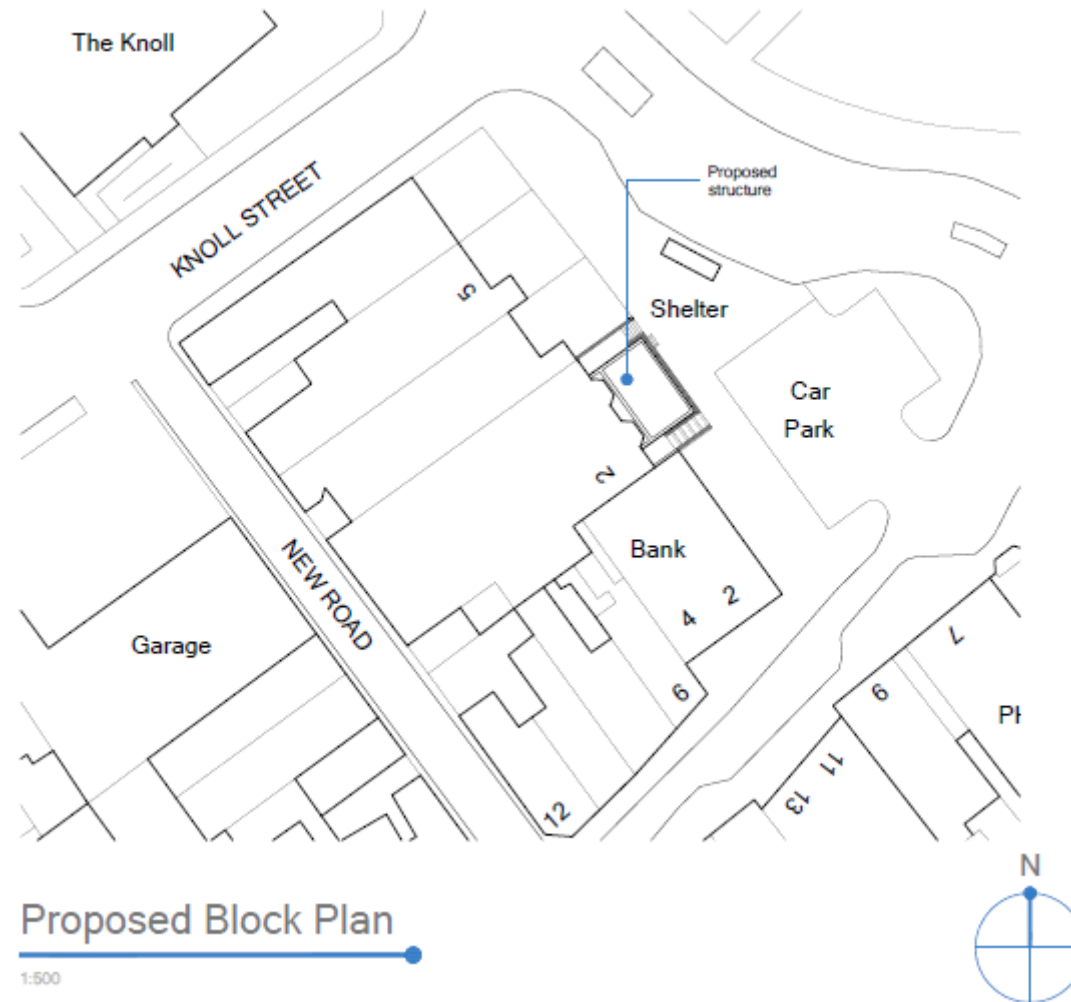
Refused

(1) The proposed extension represents a large, prominent and incongruent design which would be detrimental to the traditional and quality appearance of the building and that of the Central Cleethorpes Conservation Area in which it is located. The proposal would therefore be contrary to policies: 5, 22, 23 and 39 of the North East Lincolnshire Local Plan 2013 - 2032 (adopted 2018) and the provisions of the National Planning Policy Framework including paragraphs 66 and 72.

DM/0528/21/FUL – TALE OF TWO, 2-3 ALEXANDRA ROAD, CLEETHORPES



DM/0528/21/FUL – TALE OF TWO, 2-3 ALEXANDRA ROAD, CLEETHORPES



PLANNING COMMITTEE - 14th July 2021

ITEM: 6 **RECOMMENDATION: Approved Limited Period**

APPLICATION No: DM/0513/21/FUL

APPLICATION TYPE: Full Application

APPLICATION SITE: Land Adj Field Gates, Post Office Lane, Ashby Cum Fenby, North East Lincolnshire,

PROPOSAL: Temporary siting of a static caravan for a period of 18 months during the build phase for the new dwelling on site (resubmission of planning application DM/0907/20/FUL)

APPLICANT:

Mr And Mrs Hawkins
C/O Agent
Unit 2 Cleethorpes Business Centre
Jackson Place, Wilton Road
Humberston
Grimsby
DN36 4AS

AGENT:

Mr Dieter Nelson
Dieter Nelson Planning Consultancy
Unit 2, Cleethorpes Business Centre
Jackson Place, Wilton Road
Humberston
Grimsby
DN36 4AS

DEPOSITED: 17th May 2021

ACCEPTED: 19th May 2021

TARGET DATE: 14th July 2021

PUBLICITY EXPIRY: 20th June 2021

AGREED EXTENSION OF TIME DATE:

CONSULTATION EXPIRY: 13th June 2021

CASE OFFICER: Emily Davidson

PROPOSAL

The proposal is to temporarily site a static caravan for a period of 18 month during the building phase for the proposed new dwelling on the site. The caravan is already in position. In order to address the previous reasons for refusal, the applicant has made clear when the caravan would be connected up to services.

The application is presented to Planning Committee due to the objections of Ashby Parish Council.

SITE

The parcel of land is located in the village of Ashby Cum Fenby off Post Office Lane. It is surrounded by several residential properties. The majority of these properties are detached and are set within good sized plots. The site itself has trees and hedges lining its boundary. There are public rights of way running through the site.

RELEVANT PLANNING HISTORY

DM/0008/21/REM - Reserved matters application for one dwelling - Approved

DM/0270/21/FUL - Change of use application for the land to the rear of this site - Approved

DM/0957/18/OUT - Outline application for one dwelling - Approved

DM/0907/20/FUL - Siting of a caravan refused 28th April 2021 for the following reason;

'The use of the site for a residential caravan has a detrimental impact on the amenity of the area due to a lack of proper consideration of infrastructure connections and potential adverse impact on protected species contrary to Policy 5 and 41 of the North East Lincolnshire Local Plan, 2013-2032 and advice in the National Planning Policy Framework.'

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

National Planning Policy Framework (February 2019)

NPPF1 - Introduction

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO5 - Development boundaries

PO22 - Good design in new developments

PO41 - Biodiversity and Geodiversity

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

REPRESENTATIONS RECEIVED

Consultee Representations

Highways Officer - Approval, no conditions

Heritage Officer - No heritage input required

Rights of Way Officer - The temporary siting of the caravans does not have any impact on the Public Footpaths that cross the field. Currently Public Footpath 89 crosses the field and the Order for diversion is being consulted upon, if there are objections then the path would need to be remain open until the Planning inspectorate has made their decision.

Environmental Health Officer - No comments

Drainage Officer - As the caravan will prevent full access to the boundary ditch then the required ditch clearance needs carrying out before the caravan is sited

Ashby cum Fenby Parish Council: Oppose the application

1. The application has been refused previously.
2. Misleading statements in supporting documents.
3. The qualifications of Mr Martin in relation to the power cables.
4. The living situation of the applicant.
5. Setting of a precedent

Neighbour Representations

No neighbour Representations

APPRAISAL

Material Planning Considerations

1. Principle
2. Design
3. Ecology
4. Rights of Way
5. Protected Trees
6. Neighbouring Amenity
7. Parish Council Comments

Principle of Development

The site is located within the development boundary of Ashby cum Fenby, therefore

Policy 5 of the NELLP 2018 applies. The site has an approved outline application which establishes the principle of this area of land being residential and reserved matters approval. A dwelling can be built. Policy 5 does not exclude developments of this nature in principle in the defined boundaries. It is therefore considered that, in principle, the proposed development is acceptable subject to the site-specific impacts discussed below. It is also acknowledged that previous application for the caravan was refused on site specific issues and these are also addressed.

Design

The site is adjacent to properties on Post Office Lane and Chapel Lane. The caravan would be temporarily sited whilst building works are carried out for the proposed dwelling (approved application DM/0008/21/REM).

Whilst a caravan would not necessarily be something that would be appropriate in the long term on this site it is reasonable to provide temporary accommodation whilst the main dwelling is constructed. For a temporary length of time, the caravan itself would cause little intrusion visually to the area. It would be approved in relation to the building of a dwelling and would be removed after the limited period expires. The caravan is already on site currently. In character and design terms the caravan is considered acceptable under Policy 5 and 22 of the NELLP 2018.

Ecology

The site is within 10m of a breeding pond used by greater crested newts and it is acknowledged that any development should respond to this ecological consideration and potential use of the site for newts. Whilst it is accepted measures were not taken when the caravan was originally sited, it is important, going forward that all mitigation measures are in place to ensure protection of the newts. To this end an ecology assessment and mitigation strategy has been submitted to demonstrate the actions to be taken. This includes applying for a licence from natural England and undertaking ecological survey work. The Councils Ecology Officer has been integral to considerations and has confirmed that the details stated are acceptable. Under Local Plan Policy 41 the proposal is considered to be acceptable. The applicant has also confirmed that a licence was applied for in May and is awaiting a response from Natural England.

Rights of Way

It should be noted that an application is in progress to move the right of way which runs diagonally through the site to along the boundary of the field. This has been approved. The caravan would not obstruct the public right of way. The Rights of Way Officer is happy.

Protected Trees

There would be no impact on the surrounding protected trees. The trees and woodlands

officer has raised no issues.

Neighbouring Amenity

The site adjoins other fields to the north, Lindores and Field Gates to the east, Capella House, Ashwood and Havercroft to the south, and Ashby Acres and a parcel of land owned by the applicant to the west. It should be noted that no neighbour representations were received during the planning process.

As previously mentioned, the principle of a residential dwelling has been established on the site through previous applications. The caravan would be temporary and would be in place while a dwelling is built. The caravan is relatively small and is set within the site so there is little impact in terms of massing and overshadowing. The caravan has windows at a ground floor level, and whilst the site is set higher than some of the surrounding dwellings would not cause a negative impact in terms of overlooking. It is not considered that there are any impacts on the surrounding neighbours' amenity and the proposal is considered in accordance with Policy 5 of the Local Plan.

Parish Council Comments

The Parish Council have made several comments in relation to this application.

The first point raises that the application was previously refused. The applicant has now made clear when the services will be connected up to mitigate previous concerns. When it is moved to the survey position it will not be connected to mains or occupied. The measurement between the caravan and the water course was added to satisfy a condition from the Drainage Officer to ensure the water course can be accessed for maintenance should it be required.

Point 2 raises comments in regard to the supporting statement and when the mitigation will be undertaken. A condition is recommended that any future works are carried out in line with the ecology report. The parish also questions in point 3 the qualifications of Mr Martin. Northern Power Grid have been consulted on the application and have made no comments. The applicants have provided confirmation, from their direct discussions, with Northern Power that they have no concerns.

The living situation raised in point 4 does not form part of the planning consideration. The application has been assessed upon all planning relevant considerations. All applications are assessed on their own merit, thus, the issue raised around setting a precedence does not cause concern.

CONCLUSION

For a temporary period in relation to the construction of the dwelling the caravan is considered acceptable. There would be minimal impact to the character of the area and residential amenity and ecological issues have been addressed. The application is

considered in accordance with Policy 5, 22 and 41 of the NELLP 2018 and is recommended for approval.

RECOMMENDATION

Approved Limited Period

(1) Condition

The caravan and associated storage container shall be removed on or before 18 months after the decision date or prior to the occupation of the associated dwelling whichever is the sooner unless, before that date, an extension of the period has been granted on a further application by the Local Planning Authority.

Reason

In the interests of local amenity to accord to Policy 22 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(2) Condition

The development shall be carried out in accordance with the following plans:

Site Location Plan - 1283/2001

Block Plan - 1283-2002

Images of Caravan - Received 20/05/2021

Reason

For the avoidance of doubt in the interests of proper planning and in accordance with policy 5 and 22 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(3) Condition

The use of the site for the siting of the caravan and associated storage container shall be in accordance with the ecological information in the Ecology Statement from Kevin Johnson dated December 2020 and the Planning Statement from Dieter Nelson dated May 2021

Reason

In the interests of ecology to accord with Policy 41 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(4) Condition

Foul water must be discharged into the main sewer system and must only be connected during the "during build" position as stated on plan 1283/2002. The caravan must not be occupied during the "during survey" position.

Reason

To ensure the satisfactory disposal of foul water to accord to Policy 34 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(5) Condition

Temporary fencing must be erected along the public footpath before the caravan and container is moved to the "during survey" position and must remain in place until the caravan and storage container are moved to the "during build" position. The fencing must accord with the details supplied within plan 1283/2002.

Reason

To protect the safety of users of the public footpath and to accord with Policy 5 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

(6) Condition

Only one caravan must be present on the site at any one time.

Reason

For the interests of design considerations of the wider character of the area in order to comply with Policy 5 and 22 of the North East Lincolnshire Local Plan 2013-2032 (adopted 2018).

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations. Measures would be taken to protect the habitat of the greater crested newts. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policies 5 and 22.

2 Added Value Statement

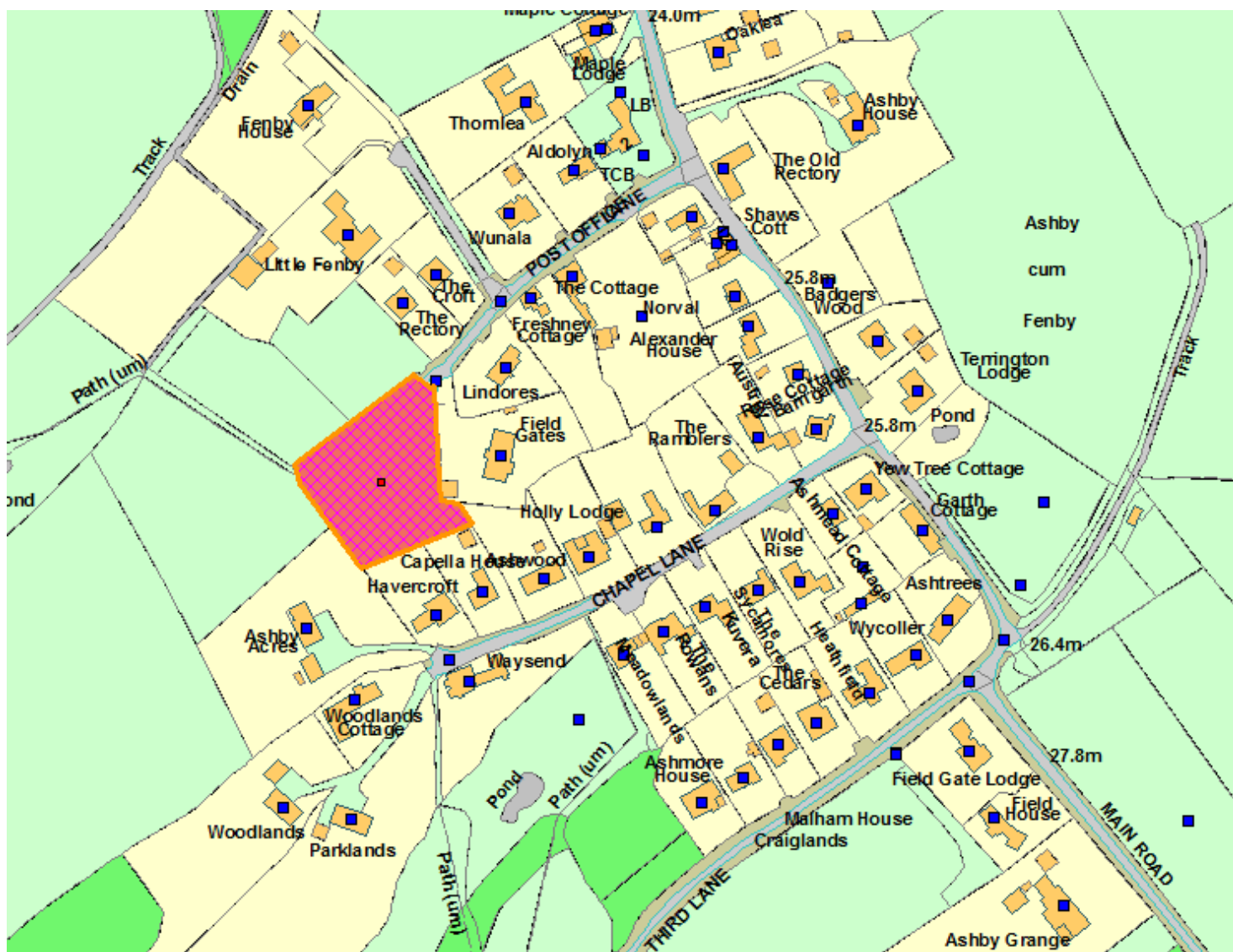
Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by securing additional information in relation to ecology concerns.

3 Informative

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 325959).

DM/0513/21/FUL – LAND ADJ FIELD GATES, POST OFFICE LANE, ASHBY CUM FENBY





Scale - 1:500

PLANNING COMMITTEE - 14th July 2021

ITEM: 7 **RECOMMENDATION: Approved with Conditions**

APPLICATION No: DM/0180/21/FUL

APPLICATION TYPE: Full Application

APPLICATION SITE: Astle BMW, Grimsby Road, Laceby, Grimsby, North East Lincolnshire, DN37 7DP

PROPOSAL: Erect BMW motorcycle showroom building and standalone wash/valet building along with elevation changes to existing showroom/workshop building in accordance with clarification of loading area plan and Delivery Protocol Planning Statement received by the Local Planning Authority on 23rd June 2021.

APPLICANT:

Jane Grimble
Marshall Motor Holdings
The Quorum
Barnwell Drive
Cambridge
CB5 8RE

DEPOSITED: 18th February 2021

AGENT:

Lee Harper
Taylor Design Architects Limited
30 Manchester Road
Wilmslow
SK9 1BG

ACCEPTED: 18th February 2021

TARGET DATE: 15th April 2021

PUBLICITY EXPIRY: 9th July 2021

AGREED EXTENSION OF TIME DATE:

CONSULTATION EXPIRY: 15th March 2021

CASE OFFICER: Ian Trowsdale

PROPOSAL

The application seeks permission to erect a new showroom and stand/alone wash and valeting building and change the elevation details to the existing showroom and workshop building.

In more detail, the applicant wishes to move the existing Motorrad showroom space out of the main dealership building into its own building and its associated outdoor display area near to the eastern edge of the site. In addition, it is proposed to build a stand/alone wash and valet building close to the western boundary to expand the existing car showroom space. The new showroom building would be single storey and made up of

new showroom space, workshop and office/ancillary use with a total floor space of 294sqm of which 222.5sqm would be showroom space. The external materials are given as cladding panels finished in black and silver in colour.

There are no changes proposed to the access arrangements into and out of the site.

The application is brought to Committee following an objection from Laceby Parish Council and due to the number of objections received.

SITE

The site is on the corner of Grimsby Road and the A46 on the edge of Laceby. The site consists of a car and motorcycle dealership. Three residential properties have been demolished and the site made into an extended car dealership area for BMW. Neighbours include an office business park on Grimsby Road (to the west) and residential properties opposite on the A46.

RELEVANT PLANNING HISTORY

DM/0693/18/FUL - Demolition of existing residential dwellings (Five Winds, Ivydene and Eastview) and outbuildings and change of use of the land from residential to used car display area with associated landscaping and alterations.

DM/0643/19/CND - Details in Discharge of Condition 3 (Surface Water Drainage), 5 (Demolition Method Statement) and 7 (Landscaping) pursuant to DM/0693/18/FUL (Demolition of existing residential dwellings (Five Winds, Ivydene and Eastview) and outbuildings and change of use of the land from residential to used car display area with associated landscaping and alterations).

DM/1132/19/FUL - Relocate delivery area within the existing dealership site with associated works.

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

National Planning Policy Framework (February 2019)

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan

for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

REPRESENTATIONS RECEIVED

Laceby Parish Council -Concerns were raised by all Councillors in relation to the disregard to the previous planning application and the continued use of the road to offload vehicles; this is done on a blind bend and is dangerous to both road users and pedestrians using Grimsby Road. Laceby Parish Council request that before any further plans are approved for this site, that there are conditions placed on any future planning operations which include the following requests:

- That there is a turning circle on the site of the garage forecourt to prevent turning on Grimsby Road.
- That there is a transporter bay on the site of the garage forecourt and deliveries stopped on the roadside. This was requested on the previous planning application.
- That there is a weight limit applied to Grimsby Road to prevent transporters travelling into the village.

Can we also please request that it is noted that transporters should not be using the centre of the A46 just after the Grimsby Road exit to perform a U-turn in which to then travel towards the Oaklands Roundabout. Any direction change should be made by using the Morrison's Roundabout.

Environmental Protection Team - Hours of construction and Construction Management Plan advised by condition

Drainage Officer - recommended condition for surface water details to be approved. The open drainage channel to the north of the new building must not be piped in or filled in as this provides drainage to the adjacent A46 dual carriageway.

Heritage Officer - no heritage input required.

Highways Officer - No objections raised. Condition recommended in relation to construction management

Neighbours and other objections have been received from Nos 18 and 142 Caistor Road, 2 Altoft Close, Nos 17 and 40 Cemetery Road and Rookery House, Grimsby Road - material objections include absence of off-road loading facilities, unloading of cars creates unacceptable reduction in the sighting distances leading to a safety risk for pedestrians crossing the road, confusion of site boundaries with vehicles parked on the highway verge, visual impact of new showroom harming the first view of Laceby village.

APPRAISAL

The material planning considerations are considered to be:-

- (1) Principle of Development
- (2) Visual Impact and Residential Amenity
- (3) Highways Safety, and
- (4) Drainage.

(1) Principle of Development.

The application site is within the development area of Laceby where Policy 5 of the North East Lincolnshire Local Plan 2013 to 2032 (adopted 2018) applies. The proposal relates to the erection of a new showroom with ancillary uses and washing/valeting building within the existing site. The principle of development is acceptable provided that the proposal does not give rise to significant issues in terms of residential amenity and that the design is in accordance with policies 5, 22, 33 and 34 of the North East Lincolnshire Local Plan 2013 to 2032 (adopted 2018), and sections 12 and 14 of the National Planning Policy Framework, 2019.

(2) Visual Impact and Residential Amenity.

The proposal is to erect a new showroom and wash/valeting building within the existing site. Visually, the proposal involves single storey buildings finished in similar materials to existing buildings on site. The impact on the visual character of the area would be relative minor given the existing use and building character of the site. In addition, due to the existing surroundings, which includes a built up setting close to a busy road, the changes to the existing car and motorcycle dealership is considered to be appropriate in this area of Laceby. On this basis, the proposal is considered to accord with policies 5 and 22 of the North East Lincolnshire Local Plan 2013 to 2032 (adopted 2018) and Section 12 of the National Planning Policy Framework 2019.

In terms of residential amenity, as the development would not be significant in size and nature and reflect the current buildings that appear on site, it is considered that the proposed development would not offer a detrimental impact to neighbours in terms of dominance, overlooking, or general noise and disturbance. Residential properties are well separated from the site. There will be no adverse impact on the business units to the west. As such, the proposal is considered to accord with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) in terms of residential amenity.

3. Highway safety.

The Parish Council and local residents have objected to the application citing concerns in respect of vehicle deliveries at the site. A new arrangement of the loading and unloading of vehicles at the site was approved in March 2020 (Planning reference (DM/1132/19/FUL). It included alterations to one of the access/egress points to create a new access for deliveries and construct a lay by within the site. No changes are proposed to these arrangements with the current application. This proposal would not lead to any material increase in the number of vehicles entering and leaving the site.

Nevertheless, as highway safety has been raised through the consultation process of the application, the matter of loading and unloading of vehicles to the site has been investigated (as well as being subject to enforcement investigation). The applicant has provided an updated plan to show the completed unloading/loading area in the correct place on the site and has provided an updated protocol statement. The Highways Officer is content with this and a condition is recommended that this be followed at the site.

In relation to parking at the site this is considered to be acceptable and not adversely impacted on by the proposals. There are losses where the buildings are to be sited but this is replaced by operational buildings including a new showroom for the motorbikes. There is also a reconfiguration of parking as result of the changes to the existing main building.

4. Drainage.

The application site is not within a high flood risk area either on the Environment Agency's Flood Maps or the Council's Strategic Flood Risk Assessment. The Council's Drainage Officer has requested a condition in relation to drainage. The proposal accords with policies 33 and 34 of the North East Lincolnshire Local Plan 2013 to 2032 (Adopted 2018).

CONCLUSION

The proposed showroom building is to create a separate showroom for the motorcycling business. This building proposed as well as the new wash/valeting building and alterations to the existing building on site are of a reasonable scale, size and appearance and would not lead to any undue impacts on the appearance and character of the area. There are no changes proposed to the access and egress arrangements to and from the site. The issue in relation to deliveries has been addressed. The application is therefore considered to comply with Policies 5 and 22 of the North East Lincolnshire Local Plan 2013 to 2032 (adopted 2018) and is recommended for approval.

RECOMMENDATION

Approved with Conditions

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

The development shall be carried out in accordance with the following plans:-

Drawing No. 5856_001_REV01 - Location Plan,
Drawing No. 5856_100_REVP2 - Existing Site Plan,
Drawing No. 5856_101_REVP2 - Proposed Site Plan
Drawing No. 5856_300_REVP1 - Existing Elevations,
Drawing No. 5856_200_REVP1 - Existing Ground Floor Plan,
Drawing No. 5856_203_REVP1 - Motorrad Proposed Plan and Elevations,
Drawing No. 5856_202_REVP1 - Wash Bay Proposed Plan and Elevations,
Drawing No. 5856_301_REVP1 - Proposed Elevations,
Drawing No. 5856_201_REVP1 - Proposed Ground Floor Plan.

Reason

For the avoidance of doubt in the interests of proper planning and in accordance with Policy 5 and 22 of the North East Lincolnshire Local Plan 2013 to 2032 (adopted 2018)

(3) Condition

No demolition or construction work shall be carried out on or before 08:00 or after 18:00 Mondays to Fridays inclusive, before 08:00 or after 13:00 on Saturdays and at any time on Sundays or Bank Holidays.

Reason

In the interests of residential amenity in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013 to 2032 (adopted 2018)

(4) Condition

No works related to the development hereby approved shall begin until a Construction Management Plan (CMP) has been submitted to and approved in writing by the Local Planning Authority. The CMP should include, but not be limited to the following:

1. Contact details of the person with responsibility for the implementation of the CMP;
2. The expected number, types and size of vehicles during the entire construction period;
3. The proposed daily hours of operation during the construction period;
4. Details of on-site parking provision for construction related vehicles;
5. Details of on-site storage areas for materials, if required;
6. Details of expected delivery schedules and how this will be managed to eliminate waiting on the public highway (i.e. call ahead or pre-booking scheduling system), if required; and
7. Details of wheel washing facilities
8. Control measures that will be employed to control the impact of noise, vibration and dust during the construction phase. The noise assessment must comply with the

requirements of British Standard 5228 unless otherwise approved.

Once approved, the CMP shall be adhered to at all times during construction.

Reason

To ensure adequate access facilities are provided during construction for highway amenity and safety reasons and in the interests of Policy 5 of the North East Lincolnshire Local Plan 2013 to 2032 (adopted 2018).

(5) Condition

No development shall commence until a scheme for the provision of foul and surface water drainage has been submitted to and approved in writing by the Local Planning Authority. Such scheme shall be implemented before the development is first brought into use.

Reason

To prevent an increased risk of flooding by ensuring the provision of a satisfactory means of foul and surface water disposal in accordance with Policy 33 of the North East Lincolnshire Local Plan 2013 to 2032 (adopted 2018).

(6) Condition

The loading and unloading of vehicles by car transporter at the site shall be in accordance with the Delivery Protocol Planning Statement dated 14th June 2021.

Reason

In the interests of highway amenity in accordance with Policy 5 of the North East Lincolnshire Local Plan 2013 to 2032 (adopted 2018).

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policies 5, 22 and 33.

2 Added Value Statement

Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek

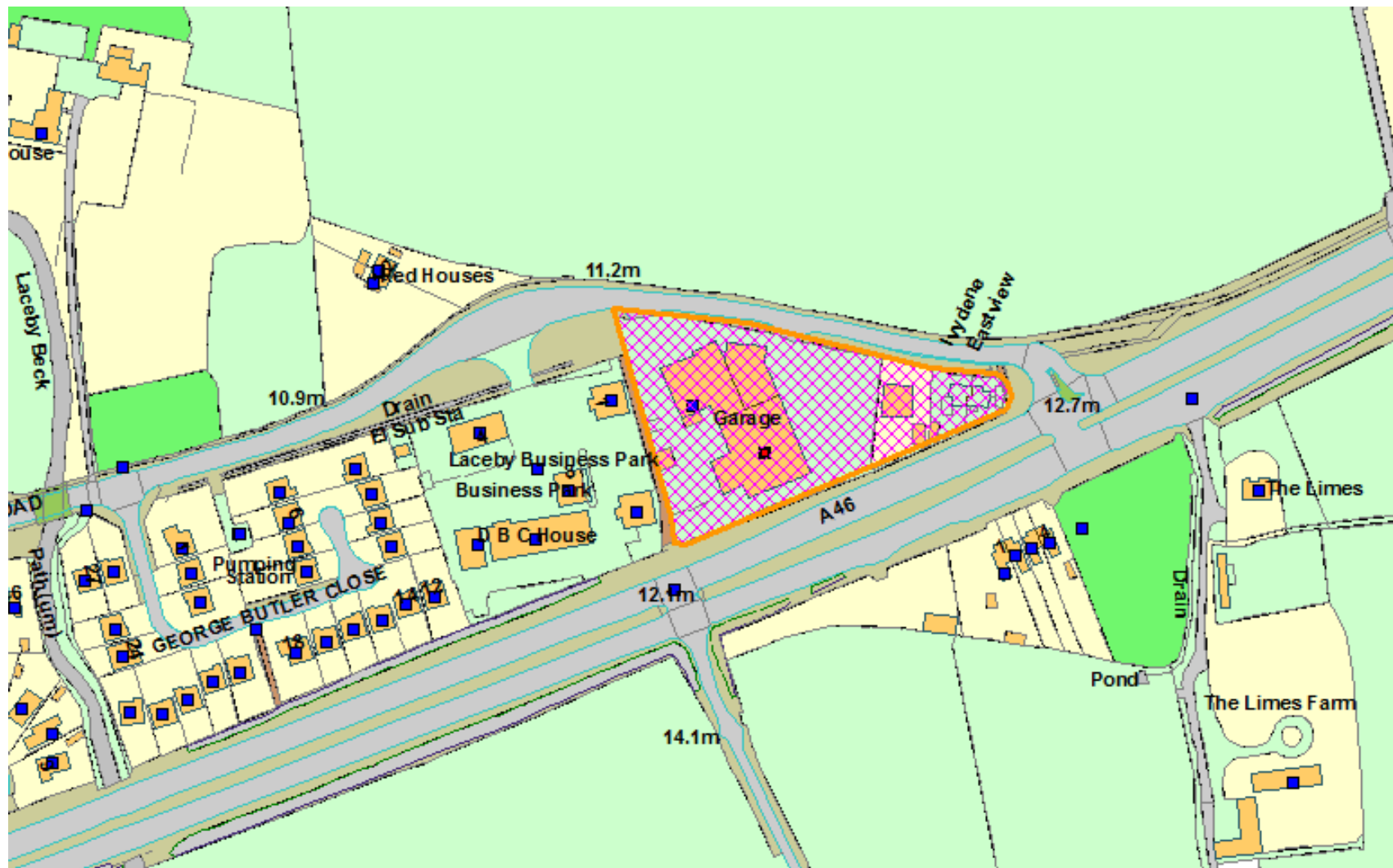
solutions to problems arising, by carrying out discussions to address local representations received during the processing of the application.

3 The open drainage channel to the north of the new building must not be piped in or filled in as this provides drainage to the adjacent A46 dual carriageway.

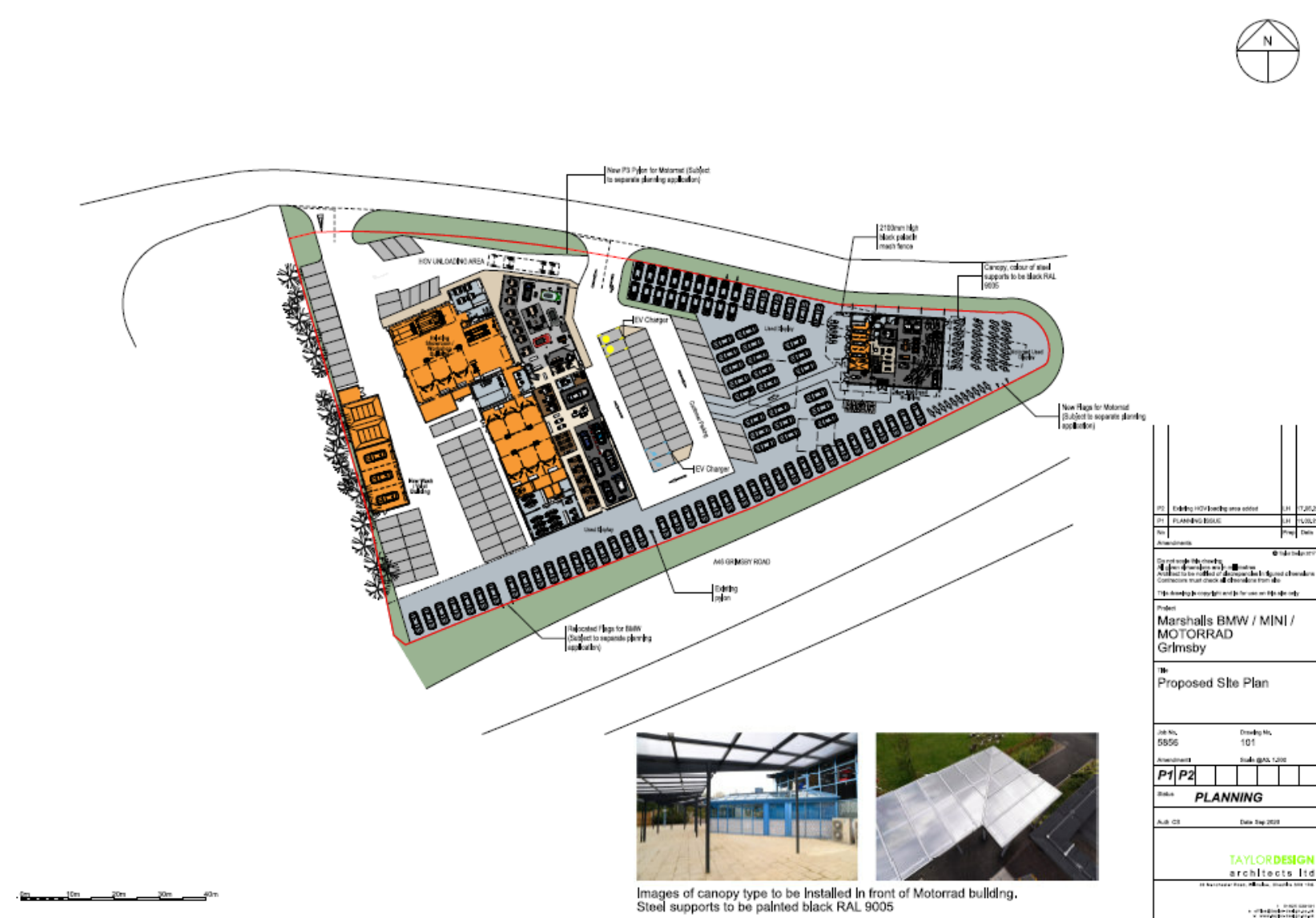
4 Informative

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 325959).

DM/0180/21/FUL – ASTLE BMW, GRIMSBY ROAD, LACEBY



DM/0180/21/FUL – ASTLE BMW, GRIMSBY ROAD, LACEBY



PLANNING COMMITTEE - 14th July 2021

ITEM: 8 **RECOMMENDATION: Approved with Conditions**

APPLICATION No: DM/0381/17/FUL

APPLICATION TYPE: Full Application

APPLICATION SITE: Garages, Granville Street, Grimsby, North East Lincolnshire,

PROPOSAL: Demolish existing garages and workshop, erect nine dwellings with associated parking, landscaping and alterations to vehicular and pedestrian access

APPLICANT:

Mr C Roberts
c/o For-Ward Planning Consultancy Limited
45 Newbridge Hill
Louth
LN11 0NQ

AGENT:

Mr Carl Forman
For-Ward Planning Consultancy Ltd
45 Newbridge Hill
Louth
LN11 0NQ

DEPOSITED: 12th April 2017

ACCEPTED: 19th June 2017

TARGET DATE: 14th August 2017

PUBLICITY EXPIRY: 20th March 2021

**AGREED EXTENSION OF TIME DATE: 16th
July 2021**

CONSULTATION EXPIRY: 14th July 2017

CASE OFFICER: Lauren Birkwood

PROPOSAL

This is a full planning application to demolish existing garages and workshops, and erect 9 dwellings with associated works including parking, landscaping, and alterations to the vehicular and pedestrian access off Granville Street in Grimsby.

The application is referred to Committee in view of objections received from local residents.

SITE

The site is located within the centre of and surrounded by dwellings located on Granville Street, Convamore Road, Welholme Road and Heneage Road in Grimsby. The site is

currently vacant and was originally used for storage and workshops. Within the site is existing dilapidated garages and workshops which would be demolished as part of the scheme. Boundary treatments include brick walls and fencing. Access is taken from Granville Street.

RELEVANT PLANNING HISTORY

No relevant planning history.

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

National Planning Policy Framework (February 2019)

NPPF12 - Achieving well designed places
NPPF14 - Climate, flooding & coastal change
NPPF15 - Conserv. & enhance the natural environ.

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO5 - Development boundaries
PO22 - Good design in new developments
PO33 - Flood risk
PO34 - Water management
PO41 - Biodiversity and Geodiversity

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

REPRESENTATIONS RECEIVED

Crime Reduction Officer - No comments.

Drainage Officer - Surface water drainage details required. Condition recommended.

Anglian Water - Surface water and foul drainage strategy required.

Highways Officer - No objections. Further details required and conditions recommended.

Environment Agency - No objections. Development to accord with Flood Risk

Assessment and details of contamination/remediation required.

Ecology Officer - Recommendations provided within the Ecology Appraisal agreed.

Environmental Health Officer - No objections. Conditions recommended including hours of construction, a Construction Management Plan and contamination.

Tree Officer - No objections.

Heritage Officer - No objections.

Humberside Fire & Rescue Officer - Informative regarding access for fire service and water supplies for fire fighting.

Neighbour Representations

The following neighbours object to the proposal:

77, 93 Granville Street, Grimsby
11 Bywood Place, Grimsby
372 Convamore Road, Grimsby
244, 246, 254, 258 Welholme Road, Grimsby

Objects on the following grounds:

- Privacy, overlooking and intrusion issues
- Light and overshadowing issues
- Concerns regarding the proposed access, traffic and parking issues
- Concerns surrounding maintenance of boundary treatments etc and right of access
- Concerns regarding noise
- Too many dwellings proposed in the area

Unit 16, Wickham Road, Grimsby - Supports the proposal.

APPRAISAL

The material considerations area:

- (1) Principle of Development
- (2) Impact on the Visual Character of the Area
- (3) Highways, Traffic Impact and Accessibility Issues
- (4) Drainage and Flood Risk
- (5) Impact to Neighbouring Properties
- (6) Ecology

1 Principle of Development

The application site is within the development area boundary of Grimsby, so saved Policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) applies. By virtue of the position of the proposal site within the urban boundary of Grimsby, it is deemed 'sustainable' through the current North East Lincolnshire Local Plan. The site is considered to be brownfield land, as it was previously developed. Flood risk is also a principle matter and this is addressed below.

Having regard to these policies the principle of development is therefore acceptable provided it does not give rise to significant issues for example in terms of residential amenity and that the design is in accordance with policies 5, 22, 33, 34 and 41 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) and sections 5, 12, 14 and 15 of the National Planning Policy Framework 2019. These are considered; as set out in the report.

2 Impact on the Visual Character of the Area

Policy 5 of the North East Lincolnshire Local Plan requires an assessment on the impact to the character of the area and visual amenity with Policy 22 setting out the requirements for 'good design'. The National Planning Policy Framework 2019 (NPPF) states that a high standard of design should always be secured with a good level of amenity for existing and future occupiers of land and buildings.

The area is predominantly residential and the addition of residential use on the site would therefore be in keeping with that character. The proposal includes nine dwellings which are proposed to face one another (four terraced properties and three terraced properties) with two small semi-detached properties to the far west of the site. Whilst it is noted the site comprises a small parcel of land, nine dwellings is not considered to result in an overdeveloped and cramped layout of the site. The details provided shows that there is sufficient space between each dwelling, acceptable amenity areas for each dwelling and areas for car parking. Views from Granville Street, Convamore Road, Welholme Road and Heneage Road would be limited due to the position of the site. However, the dwellings would represent a similar design and layout to dwellings in the area including height, layout and materials. They are proposed to be of brick and tile construction with predominately hipped roofs and chimneys of a more traditional form and character.

The overall layout and designs of the plots are considered to be acceptable in accordance with policies 5 and 22 of the North East Lincolnshire Local Plan and section 12 of the National Planning Policy Framework 2019.

3 Highways, Traffic Impact and Accessibility Issues

It is noted that a key aspect of the concerns raised by the neighbouring properties is the traffic generation, the access into the site and the subsequent impact on highway safety and amenity. Policy 5 of the NELLP requires consideration of traffic generation, highway

safety and amenity in all development proposals.

In terms of the vehicular access point, this would be taken from Granville Street via an existing access. Considerable discussions have been undertaken with the applicant and the Council's Highways Officer to overcome concerns regarding the access point, manoeuvring within the site and off-street car parking which have been resolved. The details provided show sufficient car parking for each property, parking for visitors and a bin storage area close to the access for refuse vehicles. The roads will be private but the scheme demonstrates that highway amenity and safety would be preserved. On this basis, subject to further details, the Council's Highways Officer raises no objections.

4 Drainage and Flood Risk

The site is within Flood Risk Zone as identified on the Environment Agency maps and partly in the Council's Strategic Flood Risk Assessment. The vast majority of the site and the dwellings fall within the negligible hazard zone with only a small area falling within the moderate degree of flood hazard zone as defined on the SFRA.

Due to the fact that the site is located within an area of overall flood risk, it is necessary to apply the sequential and exception tests under National Planning Policy Framework and policy 33 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018). There is a focus on the brownfield element of the site. To this end it is considered that the site would deteriorate and become derelict if it is not developed and there is little realistic alternative to the sites redevelopment. As a brownfield regeneration site is considered that the proposal meets the Memorandum of Understanding between the Environment Agency and the North East Lincolnshire Council which makes the case for regeneration sites in flood risk areas especially in the more deprived areas of the borough. To this end the sites positive redevelopment passes the sequential test.

Having passed the sequential test, it is then necessary to move onto the exception test and it is considered that the development provides wider sustainability benefits to the community thus responding to part (a) and for part (b) a site specific flood risk assessment has been prepared and provides for acceptable mitigation. This has been accepted by the Environment Agency. In particular floor levels in the dwellings will be set no lower than 3.90 metres above Ordnance Datum (AOD). A condition, to this effect, is recommended.

For residential development such as this, it is important that sustainable drainage systems are used for surface water drainage. The Council's Drainage Officer and Anglian Water have confirmed they have no objections to the scheme subject to details regarding surface water and foul drainage. A condition, to this effect, has been recommended. The proposal therefore accords with policies 33 and 34 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

5 Impact on Neighbouring Properties

Policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) requires an assessment on the impact on neighbouring land properties and users. It is noted that a key aspect of the concerns raised by the neighbouring properties is privacy and noise issues.

It is considered there will be a change in the character the area as the land will be developed from workshops and garages to dwellings. There are a number of existing neighbours to the surrounding the site on Granville Street, Convamore Road, Welholme Road and Heneage Road. The presence of existing buildings ensures residential amenity issues would be minimal to neighbours on Convamore Road (to the east). In terms of neighbours on Granville Street (to the south), Welholme Road (to the north) and Heneage Road (to the east), the dwellings have been proposed so there would be sufficient separation distances reducing issues in terms of dominance and massing. Proposed windows and the overall orientation of the dwellings also ensures issues in terms of privacy and overlooking would not be harmful.

Concerns regarding right of access have been raised by neighbouring properties. However, this is an ownership issue and would need addressing through legal processes.

Having regard to the above the proposal is considered acceptable under policy 5 of the North East Lincolnshire Local Plan.

6 Ecology

With respect to ecology matters, an ecological report has been submitted by the applicant and no specific issues were identified. Recommendations for ecological enhancements, bat and bird protection have been detailed within the report. The Council's Ecologist has no objections to the scheme, subject to a condition for the works to include these recommendations. Therefore, in ecology terms, the development is considered acceptable under policy 41 of the North East Lincolnshire Local Plan.

CONCLUSION

This proposal relates to the erection of nine dwellings with associated works on land at Granville Street in Grimsby resulting in the redevelopment of a brownfield site providing housing. The proposal would not present any significant impacts in terms of its design and there would be no significant impacts in terms of residential amenity, highways, drainage or ecology. It is therefore considered that the proposal is in accordance with policies 5, 22, 33, 34 and 41 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) and is recommended for approval with conditions.

RECOMMENDATION

Approved with Conditions

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

The development shall be carried out in accordance with the following plans:

Site Location Plan, Existing and Proposed Site Plan - 041-17-01 REV D

Proposed Plans and Elevations - Plots 1 and 2 - 041-17-04 REV A

Proposed Plans and Elevations - Plots 3-5 - 041-17-10

Proposed Plans and Elevations - Plots 6-9 - 041-17-11

Proposed Plans - Plots 6-9 - 041-17-12

Proposed Boundary Treatments - 041-17-09

Proposed Site Sections - 041-17-08 REV A

Reason

For the avoidance of doubt in the interests of proper planning and in accordance with policies 5, 22, 33, 34 and 41 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

(3) Condition

No development shall commence until a final scheme for the sustainable provision of surface water drainage, following infiltration tests, has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include final finished ground level detail and the use of interceptor land drains. The development shall then be built out in accordance with the approved details and the drainage implemented as approved prior to occupation of any dwelling and thereafter so retained.

Reason

To prevent an increased risk of flooding by ensuring the provision of a satisfactory means of surface water disposal in accordance with policies 5, 33 and 34 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

(4) Condition

No development shall commence until a foul water strategy has been submitted to and approved in writing by the Local Planning Authority. No dwellings shall be occupied until

the works have been carried out in accordance with the foul water strategy so approved unless otherwise approved in writing by the Local Planning Authority.

Reason

To prevent an increased risk of flooding and by ensuring the provision of a satisfactory means of foul water disposal in accordance with policies 33 and 34 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

(5) Condition

No works related to the development hereby approved shall begin until a Construction Management Plan (CMP) has been submitted to and approved in writing by the Local Planning Authority. The CMP should include, but not be limited to the following:

1. Contact details of the person with responsibility for the implementation of the CTMP;
2. The expected number, types and size of vehicles during the entire construction period;
3. The proposed daily hours of operation during the construction period;
4. Details of on-site parking provision for construction related vehicles;
5. Details of on-site storage areas for materials, if required;
6. Details of expected delivery schedules and how this will be managed to eliminate waiting on the public highway (i.e. call ahead or pre-booking scheduling system), if required; and
7. Details of wheel washing facilities (locations, types etc.).
8. Details of the control measures that will be employed to control the impact of noise, vibration and dust.

Once approved, the CMP shall be adhered to at all times during construction.

Reason

In the interests of highway safety and amenity in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

(6) Condition

The development permitted by this planning permission shall be carried out in accordance with the approved Flood Risk Assessment (FRA) by For-Ward Planning Consultancy Limited revised December 2016, including the following mitigation measures detailed within the FRA:

- Finished floor levels to be set no lower than 3.90mAOD
- The dwellings to be two-storey
- Flood resilience and resistance measures to be incorporated into the proposed development as stated

The mitigation measures shall be fully implemented prior to occupation and subsequently remain in place.

Reason

To reduce the risk of flooding to the proposed development and future occupants in accordance with policies 5 and 33 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

(7) Condition

Unless otherwise agreed by the Local Planning Authority, development other than that required to be carried out as part of an approved scheme of remediation must not commence until conditions 9 to 11 have been complied with. If unexpected contamination is found after development has begun, development must be halted on that part of the site affected by the unexpected contamination to the extent specified by the Local Planning Authority in writing until condition 12 has been complied with in relation to that contamination.

Reason

To ensure the site is safe for development in the interests of public safety and the prevention of pollution in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

(8) Condition

An investigation and risk assessment, in addition to any assessment provided with the planning application, must be completed in accordance with a scheme to assess the nature and extent of any contamination on the site, whether or not it originates on the site. The contents of the scheme are subject to the approval in writing of the Local Planning Authority. The investigation and risk assessment must be undertaken by competent persons and a written report of the findings must be produced. The written report is subject to the approval in writing of the Local Planning Authority. The report of the findings must include:

- (i) a survey of the extent, scale and nature of contamination;
- (ii) an assessment of the potential risks to: human health, property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes, adjoining land, groundwaters and surface waters, ecological systems, archaeological sites and ancient monuments;
- (iii) an appraisal of remedial options, and proposal of the preferred option(s).

This must be conducted in accordance with DEFRA and the Environment Agency's Model Procedures for the Management of Land Contamination, CLR 11.

Reason

To ensure the site is safe for development in the interests of public safety and the prevention of pollution in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

(9) Condition

A detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment must be prepared and is subject to the approval in writing of the Local Planning Authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

Reason

To ensure the site is safe for development in the interests of public safety and the prevention of pollution in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

(10) Condition

The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of development other than that required to carry out remediation, unless otherwise agreed in writing by the Local Planning Authority. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works. Following completion of measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be produced and is subject to the approval in writing of the Local Planning Authority.

Reason

To ensure the site is safe for development in the interests of public safety and the prevention of pollution in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

(11) Condition

In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with the requirements of condition 9, and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of condition 10, which is subject to the approval in writing of the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority in accordance with condition 11.

Reason

To ensure the site is safe for development in the interests of public safety and the prevention of pollution in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

(12) Condition

The development shall be carried out in accordance with the Preliminary Ecology Appraisal by CGC Ecology dated July 2019 with final details of ecological enhancement submitted to and approved in writing by the Local Planning Authority prior to the commencement of development. Ecological enhancement shall be carried out in accordance with the details approved.

Reason

In the interests of ecological enhancement in accordance with policy 5 and 41 of the North East Lincolnshire Local Plan 2013-2032.

(13) Condition

No demolition or construction work shall be carried out on or before 08:00 or after 18:00 Mondays to Fridays inclusive, before 08:00 or after 13:00 on Saturdays and at any time on Sundays or Bank Holidays.

Reason

To protect the amenities of nearby residents to accord with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

(14) Condition

Prior to occupation of any dwelling, final details of how water will be reused and recycled on site shall be submitted to and agreed in writing by the Local Planning Authority. Once approved, the details shall be adhered to at all times following occupation.

Reason

To ensure the efficient use of water and to accord with policy 34 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

(15) Condition

Notwithstanding the Town and Country Planning (General Permitted Development) Order 2015 (or any statutory amendment thereto), no development under Schedule 2 Part 1, Class A, B, C, D, E, F shall be permitted within the curtilage of any dwelling.

Reason

To protect residential amenity and the visual character of the area in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

(16) Condition

All external materials to be used in construction of the dwellings shall be as per those specified within the application form dated 12th April 2017 unless otherwise submitted to and agreed in writing by the Local Planning Authority.

Reason

To ensure the development has an acceptable external appearance and is in keeping with the visual amenity and character of the area in accordance with policies 5 and 39 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

(17) Condition

Development shall not begin until the following details have been submitted to and approved in writing by the Local Planning Authority.

(i) Detailed plans to a scale of at least 1/500 showing:-

- (a) the proposed construction and layout of the access onto Granville Street and carriageways and footways on the development;
- (b) the wearing course materials proposed for the carriageways and footways;
- (c) cross sections;
- (d) the highway drainage system;
- (e) the proposed locations of street lighting columns, all services and ducts for services, within the carriageways and footways;
- (f) the number, location and layout of the vehicle garaging and/or parking facilities within the site to serve the proposed development;
- (g) management arrangements for any carriageways, footways, parking areas and/or landscaped areas not to be adopted by the local authority;
- (h) the timing of the works in relation to the occupation of the dwellings.

The development shall be implemented in accordance with the details and timings approved and the site managed thereafter in accordance with the approved details.

Reason

In the interests of highway safety and amenity in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policies 5, 22, 33, 34 and 41.

2 Added Value Statement

Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by requesting additional information to overcome concerns.

3 Informative

This application will require the creation of new postal addresses. You are advised to contact the Street Naming & Numbering Team on 01472 323579 or via email at snn@nelincs.gov.uk to discuss the creation of new addresses.

4 Informative

The applicant's attention is drawn to the fact that the requirements of the Party Wall Act may apply and you should seek advice from your agent or suitably qualified person.

5 Informative

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 325959).

6 Informative

If the highways within the site are to be adopted by the Council, in accordance with Section 38 of the Highways Act 1980, please contact the Highway Management Team six months in advance of the commencement of works. (Tel: 01472 324505)

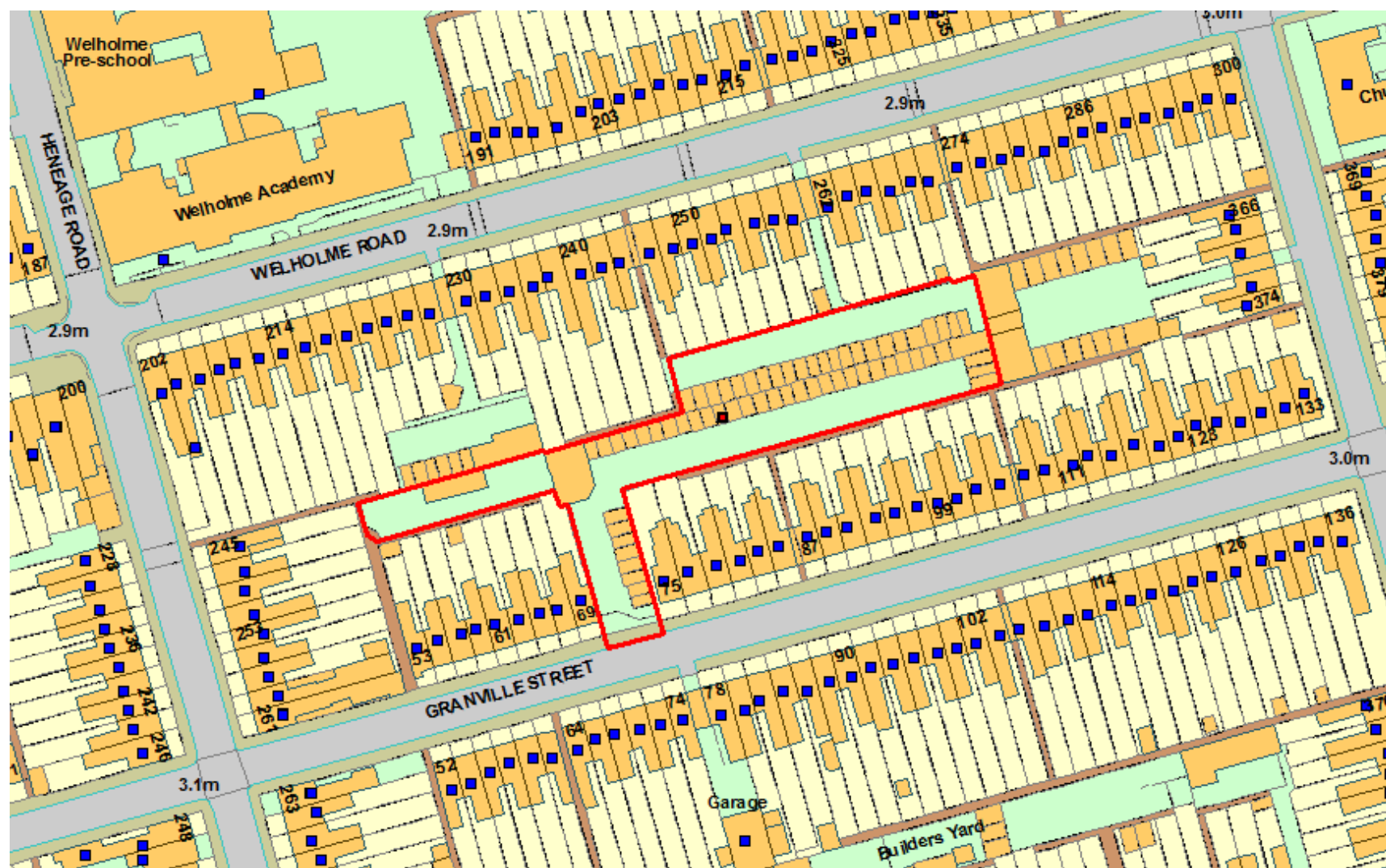
7 Informative

Please note that at least 3 months in advance of work commencing on site you are required to contact the Highway Management Team with respect to the formation of a vehicular access within the existing highway. (Tel: 01472 324431)

8 Informative

The applicant's attention is drawn to the comments received from the Humberside Fire and Rescue Officer. Please go to <https://www.nelincs.gov.uk/planning-and-building-control/> to view the comment.

DM/0381/17/FUL – GARAGES, GRANVILLE STREET, GRIMSBY





KEY :-

- 1 - 2000mm high walling
- 2 - Bin store with 1200mm enclosures
- ALL intermediate boundaries to be 1800mm high fencing
- ALL parking bays to be 2500mm x 5000mm*

*except where they adjoin a wall or fence, when they are 3000mm x 5000mm



Landscaping proposals

- Rear gardens to be laid to grass
- Paved patio area 2.4m x 2.4m outside rear doors
- Perimeter paths around dwellings to be paved
- Parking court and compensatory parking spaces to be block paved
- Access road, driveways and turning areas to be laid to tarmac

DATE	10/01/2017	REVISION	
10/01/2017	Layout modified in order of units reduced	A	
10/01/2017	Site plan drawn/checked/spacing reviewed/changes added	B	
10/01/2017	Additional dimensions added for the site	C	
10/01/2017	Parking bay dimensions provided	D	
For-Word Planning Consultancy Limited 45 Newbridge 108, Louth, Lincolnshire, LN11 0VQ Mobile: 07872 513557 e-mail: carlforman1078@out.com			
PROJECT			
Erection of 3no. dwellings on site of existing garages and former workshop to be removed			
LOCATION			
Land north of 33 - 105 Granville Street Grimsby North East Lincolnshire DN32 9NQ			
TITLE	OS/Block Plans & site levels	DRAWING NUMBER	
DATE	January 2017		
SCALE	As stated		
REVISION			
COPYRIGHT OF THIS DRAWING BELONGS TO FOR-WORD PLANNING CONSULTANCY LIMITED			

PLANNING COMMITTEE - 14th July 2021

ITEM: 9 **RECOMMENDATION: Approved with Conditions**

APPLICATION No: DM/0175/21/FUL

APPLICATION TYPE: Full Application

APPLICATION SITE: Salisbury Court, Barnoldby Road, Waltham, Grimsby, North East Lincolnshire, DN37 0BS

PROPOSAL: Retrospective permission to erect single storey timber staff room and a single storey extension to existing nursery to provide additional classroom

APPLICANT:

Mrs Eleanor Hutton
Explorosity Education Limited
Salisbury Court
Barnoldby Road
Waltham
Grimsby
North East Lincolnshire
DN37 0BS

DEPOSITED: 16th February 2021

AGENT:

Mr Gavin And Carl Farrand And Forman
G F Design Services Limited
Meteor House
Manby Park
Louth
LN11 8UT

ACCEPTED: 16th February 2021

TARGET DATE: 13th April 2021

PUBLICITY EXPIRY: 6th May 2021

AGREED EXTENSION OF TIME DATE: 16th July 2021

CONSULTATION EXPIRY: 13th March 2021

CASE OFFICER: Lauren Birkwood

PROPOSAL

This proposal seeks retrospective permission to erect single storey timber staff room and a single storey extension to existing nursery to provide additional classroom at Salisbury Court on Barnoldby Road in Waltham.

The proposed timber staff room measures 3.7 metres in width, 9.6 metres in length and 3 metres in height. The timber structure is externally faced in matching timber. The proposed extension would measure 11.7 metres in width, 6.2 metres in length and 3.2 metres in height. This building would be externally faced in matching materials.

The application is presented to planning committee due to issues and concerns raised by the Waltham Parish Council in relation to the Right of Way through the site.

SITE

The site is located on the south east side of Barnoldby Road in Waltham. The premises current use is a children's nursery. It is predominantly residential in this area. The property benefits from a large paved front area for off-street parking, and also garden amenity space.

RELEVANT PLANNING HISTORY

DM/0502/19/FUL - Change of use from residential care unit to children's nursery with alterations to windows and door.

DM/1152/19/FUL - Construction of a grassed playing field and forest garden within the grounds of Salisbury Court including the erection of a forest garden classroom with toilets, installation of a security camera and lighting pole, fencing, relocation of public footpath and the erection of a single storey rear extension to the existing nursery building.

DM/0985/20/FUL - Variation of Condition 2 (Approved Plans) as granted on application DM/1152/19/FUL (Construction of a grassed playing field and forest garden within the grounds of Salisbury Court including the erection of a forest garden classroom with toilets, installation of a security camera and lighting pole, fencing, relocation of public footpath and the erection of a single storey rear extension to the existing nursery building) for the re siting and amended layout of the forest garden classroom.

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

National Planning Policy Framework (February 2019)

NPPF12 - Achieving well designed places

NPPF16 - Conserv. & enhance the historic environ.

North East Lincolnshire Local Plan 2013-2032 (adopted 2018)

PO5 - Development boundaries

PO22 - Good design in new developments

PO33 - Flood risk

PO34 - Water management

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states "if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise". This is recognised in paragraph 11 of the NPPF, with paragraph 12 stating that the framework does not change the statutory status

of the development plan as the starting point for decision making. The development plan for the area is comprised of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

REPRESENTATIONS RECEIVED

Waltham Parish Council - Objects to the proposal with concerns regarding the previous conditions applied and that these have not yet been complied with.

Right of Way Officer - The pathway is open and in good condition.

Drainage Officer - No objections. Use of water butts acceptable.

Environmental Health Officer - No objections. Recommend restriction of hours of construction.

Highways Officer - No objections.

Heritage Officer - No objections.

Crime Reduction Officer - No comments.

No neighbouring representations.

APPRAISAL

The material considerations in this case are:

1. Principle of Development
2. Impact on the Character of the Area
3. Impact on Neighbours
4. Drainage
5. Right of Way

1. Principle of Development

The application site is within the development area of Waltham (policy 5) and relates to an existing children's nursery site. The alterations and proposed works will support the nursery and overall site. The principle of development is therefore acceptable provided that the proposal does not give rise to significant issues in terms of residential amenity, drainage, and that the design is in accordance with policies 5, 22, 33 and 34 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018), and sections 12 and 14 of the NPPF 2019.

2. Impact on Character of the Area

The development is to erect single storey timber staff room and a single storey extension to existing nursery to provide additional classroom at Salisbury Court on Barnoldby Road in Waltham. The timber staff room is retrospective and already in place.

The majority of the proposed features would be not readily viewable from Barnoldby Road as the development is set back behind existing residential properties. Therefore it is considered that the proposed scheme would not unduly harm the character and appearance of the area. It is also considered that the features would not lead to visual clutter, and the style and design is deemed appropriate which does not detract from the areas character or appearance.

The proposed timber structure and extension, located to the rear and side of the existing building, is/would be single storey in height. It is considered that as the overall height of these structures are less than the height of the existing host property, they would and do not appear dominant. The extension would be externally faced in matching materials and the staff room is in timber, which represents similar materials within the area. The proposal is therefore in accordance with policies 5 and 22 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) in relation to visual amenity.

3. Impact on Neighbouring and Surrounding Area

No neighbouring representations were received during the planning process. The building is situated in an established residential area. The proposed extension would be situated close to the boundary shared with 11 and 13 Salisbury Avenue (to the south east). The timber classroom is situated close to the boundary shared with 1 and 3 Salisbury Avenue (to the west). The single storey nature and minimal use of openings onto neighbours means there are no amenity issues for neighbours in relation to overlooking and massing.

Having regard to the above, the proposal is considered to be in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) in terms of residential amenity.

4. Drainage

The Council's Drainage Officer has confirmed that the sustainable surface water methods that would be in place, including the installation of water butts to the proposed extension and staff room, is acceptable. A condition to secure these methods are recommended. On this basis, the proposal accords with policy 34 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) in terms of drainage.

5. Right of Way

This proposal has no affect on the right of way across another part of the site. However It is noted that comments have been received from the Waltham Parish Council stating that the development should not be accepted until the public right of way has been

constructed and in use in line with conditions on the previously approved permission. Significant discussions have been undertaken with the applicant and the Council's Right of Way Officer to designate and redirect the footpath within the site for residents. The Council's Right of Way Officer has confirmed the footpath is now open and in good condition. The paths responsibility is now with North East Lincolnshire Councils, and maintained and inspected by the Public Rights of Way Team. Having regard to the fact that this proposal does not affect the right of way, and that in any event it is now open and completed, there are no planning concerns in that respect.

CONCLUSION

The proposal for retrospective permission for the erection of a timber staff room and a single storey extension at Salisbury Court in Waltham. It is considered it can be achieved without harm to the character of the area and street scene and it would not give rise to significant impacts in terms of residential amenity or drainage. Matters in relation to the public rights of way have been resolved. Subject to conditions, it is therefore recommended for approval in accordance with 5, 22, 33 and 34 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018) and sections 12 and 14 of the National Planning Policy Framework 2019.

RECOMMENDATION

Approved with Conditions

(1) Condition

The proposed classroom extension hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

The development shall be carried out and is approved in accordance with the following plans:

Site Location Plan, Existing Plans and Elevations - CF-GF-EE-01-21

Block Plan, Proposed Plans and Elevations - CF-GF-EE-02-21 REV A.

Reason

For the avoidance of doubt in the interests of proper planning and in accordance with policies 5, 22, 33 and 34 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

(3) Condition

No construction work shall be carried out on or before 08:00 or after 18:00 Mondays to Fridays inclusive, before 08:00 or after 13:00 on Saturdays and not at any time on Sundays or Bank Holidays.

Reason

To protect the amenities of nearby residents in accordance with policy 5 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

(4) Condition

The development permitted by this planning permission shall be carried out in accordance with the email from Carl Foreman dated 23rd March 2021, in particular the surface water disposal which includes water butts. The mitigation measures shall be fully implemented prior to the use and occupation of any building and shall subsequently remain in place thereafter.

Reason

To reduce the risk of flooding to the proposed development to accord with policies 5 and 34 of the North East Lincolnshire Local Plan 2013-2032 (Adopted 2018).

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2013-2032 (adopted 2018), in particular policies 5, 22, 33 and 34.

2 Added Value Statement

Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by requesting additional information to overcome concerns.

3 Informative

Please note that you may also require Building Regulations. You are advised to contact them in advance of work on site commencing (Tel: 01472 325959).

DM/0175/21/FUL – SALISBURY COURT, BARNOLDBY ROAD, WALTHAM

