

Planning Committee Dated: 14th September 2016

Summary List of Detailed Plans and Applications

Recommendation: Approved Conditions and signing of S106

Item: 1

Application No: DM/0313/16/FUL

Application Type: Full Application

Application Site: Becklands Land Off A16/Louth Road Roundabout New Waltham Grimsby

Proposal: Erection of 204 dwellings with ancillary parking, garaging, access road and associated works

Applicant: Mr Steven Ibbotson

Case Officer: Simon Johnson

Recommendation: Approval with Conditions

Item: 2

Application No: DM/0312/16/FUL

Application Type: Full Application

Application Site: Fairview Rowan Drive Healing North East Lincolnshire

Proposal: Erection of two dwellings with the installation of rooflights, new access and driveway, parking and landscaping

Applicant: Mr Ted Long

Case Officer: Ian Trowsdale

	Recommendation: Approval with Conditions
Item:	3
Application No:	DM/0322/16/FUL
Application Type:	Full Application
Application Site:	Land Off Old Farm Road Hatcliffe North East Lincolnshire
Proposal:	Demolition of existing derelict pig sheds and erection of single storey dwelling with associated parking and landscaping
Applicant:	Ms Jane North
Case Officer:	Ian Trowsdale

	Recommendation: Approval with Conditions
Item:	4
Application No:	DM/0594/16/FUL
Application Type:	Full Application
Application Site:	Land At Rookery Road Healing North East Lincolnshire
Proposal:	Demolition of garage and erection of a single storey dwelling
Applicant:	Mr David Coleman
Case Officer:	Ian Trowsdale

	Recommendation: Approved Conditions and signing of S106
Item:	5
Application No:	DM/0609/16/FUL
Application Type:	Full Application
Application Site:	Land South Of Ings Lane Waltham North East Lincolnshire
Proposal:	Variation of Condition 14 (Secure Screen Fence) as granted on application DC/1192/15/FUL (Erection of 10 detached dwellings with garages and associated works (Re-design of previously approved application DC/651/11/WAB)) for revision to have a lockable gate instead of secure screen fencing which is removed and replaced with a suitable fence upon commencement of Plots 8 and 10 and existing fencing is agreed and implemented before works commence on Plots 8 and 10.
Applicant:	Mr Gary Lister
Case Officer:	Ian Trowsdale

Recommendation: Approval with Conditions

Item: 6

Application No: DM/0639/16/FUL

Application Type: Full Application

Application Site: Greenlands Old Main Road Barnoldby Le Beck North East Lincolnshire

Proposal: Amendment to house type for Plot 1 (as submitted with DM/1246/15/REM)

Applicant: Mr M Hattersley

Case Officer: Richard Limmer

Recommendation: Approval with Conditions

Item: 7

Application No: DM/0619/16/FUL

Application Type: Full Application

Application Site: Brook End Main Road Hatcliffe Grimsby

Proposal: Erect first floor extension to rear to include balcony, erect first floor extension to side to include the installation of a rooflight with alterations

Applicant: Mr & Mrs H Hudson

Case Officer: Richard Limmer

PLANNING COMMITTEE - 14th September 2016

ITEM: 1

**RECOMMENDATION: Approved
Conditions and signing of S106**

APPLICATION NO: DM/0313/16/FUL

APPLICATION TYPE: Full Application

**APPLICATION SITE: Becklands, Land Off A16/Louth Road Roundabout, New
Waltham, Grimsby, N E Lincolnshire**

**PROPOSAL: Erection of 204 dwellings with ancillary parking, garaging, access
road and associated works**

APPLICANT:

Mr Steven Ibbotson
Cyden Homes Ltd
Manor Farm Offices
Grimsby Road
Laceby
Grimsby
DN37 7EA

AGENT:

DEPOSITED: 31st March 2016

ACCEPTED: 6th July 2016

TARGET DATE: 5th October 2016

PUBLICITY EXPIRY: 7th September 2016

AGREED EXTENSION OF TIME DATE:

CONSULTATION EXPIRY: 31st August
2016

CASE OFFICER: Simon Johnson

PROPOSAL

This proposal is for full permission to develop a 9.09 hectare site for a residential development comprising of 204 dwellings resulting in an overall density of 22.4 Dwellings Per Hectare (DPH). However taking into account the area for sustainable drainage (SUDS) and other infrastructure the developable area is 7.28 hectares giving a density of 28 DPH.

The proposal is for a range of house types and designs comprising of four 1 bed units, thirty four 2 bed units, seventy nine 3 bed units, eighty 4 bed units and seven 5 bed units.

The proposal also comprises of ancillary car parking, garages, garden spaces, internal access roads, pedestrian and cycle access ways, landscaping and sustainable drainage

infrastructure including balancing ponds. The vehicular access into the site would be taken from the south-west of the land utilising a new arm from an existing roundabout.

The application is before committee due to the receipt of 11 neighbour objections.

SITE

The site is located within the village boundary of New Waltham and forms the north-eastern corner of the settlement. It sits to the east and north-east of the A16 roundabout which joins the A16 and the A1243 (Louth Road) and is bound by Buck Beck watercourse and mature landscaping to the north and west and by existing residential properties to the south, east and north-east.

The site currently comprises of agricultural land with a mix of trees, hedgerows and fencing along the external boundaries. It is primarily enclosed by mature vegetation and the built up areas around it. As a result long range views from within the site or looking into the site itself are more fleeting and minimal.

RELEVANT PLANNING HISTORY

DC/1055/10/HUM - Outline application for 200 residential units with access - Approved with conditions and Section 106 Legal Agreement.

DM/0171/15/FUL - Erection of 5 dwellings - Approved with conditions.

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

Government Guidance

NPPF6 - Deliv. - Wide Choice High Qual. Homes
NPPF7 - Requiring Good Design
NPPF10 - Challenge of Climate Change & Flooding
NPPF11 - Conserv. & Enhance Natural Environment

Development Plan

Saved Policies

GEN1 - Development Areas
NH5 - Protection of Trees
NH6 - Protection of Hedgerows
H1 - Proposed Housing Sites
BH12 - Evaluation of Archaeological Remains
GEN3 - Development and Landscaping
NH3 - Protected Species
H2 - Housing Monitoring

Paragraph 215 of the NPPF states that due weight should be given to policies in existing plans according to their consistency with the framework. Unless otherwise identified within the report, these policies are considered consistent with the framework and which have the presumption in favour of sustainable development.

REPRESENTATIONS RECEIVED

New Waltham Parish Council - No objections raised as there is an understanding that this is an integral part of the local plan and is allocated for housing. Parish raised concerns in relation to drainage and traffic from this site. Particular comments made to ensure the council does receive a management plan for the drainage and encourages further traffic surveys are undertaken due to the existing ones being outdated.

Highways - No objection as the proposal would not lead to a severe impact on highway safety or transport grounds, a signalled pedestrian crossing as per the previously approved scheme for the site. A contribution to this would be required and also a contribution to the bus stops should they have to be moved as part of a standalone pedestrian crossing. In addition the developer needs to ensure a link path is provided to the pavilion path to the north through a 50% contribution and also that a footway from the roundabout is provided to Simpson's Fold Court as part of the highway works.

Drainage Team - Overall the drainage strategy is acceptable, water butts would be recommended and some modifications may be needed for adoption purposes.

Humberside Fire and Rescue - Made comments in relation to the provision of firefighting equipment and water supplies.

Natural England - No objections raised in relation to sites of special or statutory interest, have not commented in relation to protected species or local wildlife sites.

Ecology Officer - wildlife surveys undertaken have found the presence of protected species, therefore the mitigation strategy must be followed at all times. Also recommend nest boxes for bats and birds on the site.

Environment Agency - No objection subject to a condition ensuring no more than greenfield run off into the adjacent Beck.

Crime Reduction Officer - No objections raised; ideally the site should follow secured by design.

Lincolnshire Wildlife Trust - No objections raised, would encourage pre-development surveys, mitigation of the small loss of the Buck Beck East Local Wildlife Site (from the A16 access point) and also inclusion of appropriate biodiversity enhancements.

Environmental Team - Comments raised in relation to construction hours, vehicular charging points, air quality assessments, background noise data and unexpected contamination.

Civic Society - Made comments that it is regrettable that only one access and egress into the site would be provided, also made comments in relation to the traffic problems in the area that need to be radically addressed, especially with this being exacerbated by the new development at Holton Le Clay.

Anglian Water - Made comments outlining that the Newton Marsh treatment centre has capacity for the required flows. Also requested that an informative is added to any permission outlining the presence of assets.

Education - Full contribution required on eligible properties (not on affordable and not on single bedroom units)

Affordable Housing Officer - The proposed affordable housing as identified on the approved plan is acceptable.

North East Lindsey Internal Drainage Board - Site lies outside of the drainage district they cover. Therefore no comments to submit.

Neighbours

The Council has received 11 objections from the following addresses:

31 and 53 Dunbar Avenue
5 Ellen Way
8 David Place
203 Station Road
3 Kaymile Close
6 Huntsmans Chase
5 Hawthorne Avenue
10 Chandler Close
2 Newlyn Close
17 Albery Way

The objections raised are summarised as follows:

- Intensification of the settlement
- Impact on the local infrastructure including schools
- Increase in traffic on an already busy road
- Utilisation of outdated traffic data (2008)
- Impact the proposal will have on existing wildlife utilising the site
- Impact on residential amenity
- Construction management needs to be thorough and adhered to

- Lack of discussion regarding full busses at peak hours regardless of adequate routes/ timing
- Concerns raised with regards to the updated transport assessment
- Crossing safety for students at the nearby junction
- Potential blocking of established walking routes
- Impact on existing hedgerows

49 Dunbar Avenue - Made comments to raise awareness of the adjacent dry ditch in between their property and the proposal site and questioned who would be responsible for its future maintenance.

APPRAISAL

Material Planning Considerations

- 1) Policy Background
- 2) Principle of Development
- 3) Education, Affordable Housing and Open Space
- 4) Design and Character
- 5) Residential Amenity
- 6) Highway Safety and Transport
- 7) Flood Risk and Drainage
- 8) Heritage Issues
- 9) Ecology and Landscaping
- 1) Policy Background

The proposal site is located within the development boundary of New Waltham village therefore saved policy GEN1 of the North East Lincolnshire Local Plan (2003) applies.

The site is also identified as a housing allocation within the local plan as indicated by saved policy H1/49 as a reserved allocation, part of the housing monitoring requirement of saved policy H2. It had an outline permission for up to 200 houses granted in 2012 which has since expired.

Saved policies GEN1, H1 and H2 are considered as general policies which are supportive of development, in particular housing development. The policies can therefore be afforded substantial weight in accordance with paragraph 215 of the NPPF. Saved

policy H2 requires that the allocation of this site did not happen unless the Council fell short on previously developed land between 2001 and 2006. Now this local plan policy is time expired, the site is therefore deemed to be released in accordance with saved policy H1.

Due to the site forming a residual allocation from a previous plan since at least 2003, the proposed housing numbers in this proposal already form part of the Council's existing 5 year supply, which is currently at 3.0 years as per the Five Year Housing Land Supply Assessment (FYHLSA) (April 2016). The FYHLSA takes account of the needs of the area from the Strategic Housing Market Assessment and the Strategic Housing Land Availability Assessment.

When assessing any planning application which would contribute to the much needed housing supply for the district, great weight should be afforded to sustainable development taking the National Planning Policy Framework (NPPF or Framework) as a whole and ensuring that restrictive policies which restrict the supply of housing land are considered out-of-date.

The overarching aim of the NPPF is to ensure that development is sustainable. Sustainability is assessed on all criteria outlined within the NPPF and therefore to achieve sustainable development, a proposal must not conflict with the aims of the Framework.

The Pre-submission Draft Local Plan was put before cabinet on the 17th February 2016 and went out for public consultation on the 29th February 2016.

The Pre-submission Draft Local Plan identifies the proposal site as a residential allocation HOU095A and it would still be within the development boundary for New Waltham if the Local Plan is adopted in its current form.

The Pre-submission Draft Local Plan remains at an early stage of preparation but does now have policies which can be assessed against the relevant sections of the NPPF in accordance with paragraph 216 of the Framework. Paragraph 216 requires that policies are given weight based on their consistency with the Framework, stage of preparation and the level of unresolved objections to the policy.

The policies themselves, whilst not providing conflict with the NPPF or existing local plan policies in relation to this development proposal can still only be afforded limited weight.

2) Principle of development

The proposal is for the development of a site for 204 new dwellings. The proposal site is located off the A16, which is inside the development boundary of New Waltham and forms the western boundary of the village as covered by saved policies GEN1, H1 and H2 of the North East Lincolnshire Local Plan. The development is acceptable in principle.

The application is for full planning permission for the dwellings, associated infrastructure, landscaping and access. Therefore the material planning considerations are education, affordable housing, open space, sustainability, design, character of the area, residential amenity, highway safety/transport, drainage, flood risk, ecology, landscaping and heritage assets.

3) Education, Affordable Housing and Open Space

The proposal is for the development of a site for 204 dwellings. The full requirement for affordable housing on all sites with 15 dwellings or more is a 20% affordable housing contribution. This applies in this case and equates to 41 standard houses of varying sizes. In this instance it is anticipated that 8 of these provided units would be exchanged for 4 specialist disabled affordable houses (on a 2 for 1 basis) meaning that 37 units in total would be provided. The Council's Affordable Housing Officer considers this mix to be acceptable and the marginal reduction in order to provide specialist use houses is encouraged.

The proposal is for more than 10 dwellings and the local primary schools (Enfield Primary and New Waltham Primary) are currently at or over capacity based on new homes in the district. The scheme therefore requires a contribution to primary education on the basis of 167 dwellings (affordable housing and single bedroom homes removed from calculation). This equates to a contribution of £473,610.48 that is required from this proposed scheme.

Both the affordable housing requirements and education contributions will be required as part of a section 106 legal agreement prior to any decision being issued.

The proposal would be provided with some level of open space on site in order to meet the need for the site around the proposed balancing ponds. However, in terms of actual children's play space it is considered that given the location it would be beneficial to have this as an off-site contribution to provide a play area and trim trail at the existing New Waltham Community Pavilion to the north-east of the site. The developer also proposes a contribution to provide a link to this area from the proposal site via a footpath to St Clements Way. This contribution to off-site play equipment and access along with the provision of on-site open space is considered to be compliant with saved policy LTC4. A condition is recommended to ensure the provision and long term management of the open space and sustainable drainage areas which may or may not include the transfer of the open space to the Local Authority. The payment of a sum for the play equipment and access footpath would be part of the section 106 legal agreement.

4) Sustainability

New Waltham is a large village serving as a local centre; it has an abundance of services within the village and good transport connections to the urban area and beyond. Primary school pupils would be served by the Enfield and New Waltham primary schools as is the current situation for the village.

There is a local centre with two public houses, a number of shops including a pharmacy around the Greenlands Avenue area of Station Road approximately 1 kilometre from the proposal site. There is a well serviced bus route into New Waltham which links with the urban area. The nearest bus stops to the site are located on the A16, 230 metres to the south of the site from the existing bridge over the beck.

The proposal site is considered to be sustainable as it is located within 1km of a number of services and provides a number of options for sustainable modes of transport, as such, residents of the site would not be heavily reliant on the motor vehicle for their basic needs.

It is considered that to enhance sustainability of the site, a contribution to a path link through the site to the leisure facilities at the pavilion (north) will be required. As part of the highway works from the existing roundabout into the site, a footpath link would also be created in order to link the site to the existing path at Simpson's Fold Court leading into the village.

5) Design and Impact on the character of the surrounding area

The proposal is for the full redevelopment of a site for residential properties, access, landscaping and other associated infrastructure.

The proposal involves medium density housing at 28 dwellings per hectare (dph). The development comprises of a roughly triangular plot of land with dwellings set back from Louth Road, separated from it by mature vegetation, Buck Beck and proposed open space.

The site is largely self-contained with little wider impact on the surrounding landscape due to the presence of major highway infrastructure to the north, west and south-west and existing residential properties of the village to the north-east, east and south.

Mature hedgerows and vegetation occupy the western boundary of the site situated between the A16 and the Beck. These landscape features restrict large and long views of the proposal site primarily from the A16. There would be passing views of the site from the A16, particularly when approaching the roundabout which the site would be accessed from.

Whilst views could be achieved these will mainly be of open space which also have new trees proposed and the development will be assimilated into a back drop of existing development, existing landscaping and new landscaping. It is not considered that the proposal would have significant negative impacts on the countryside that exists near the site in terms of views, coalescence or general appreciation. This is mainly due to the site being separated from the open countryside and forming part of the established settlement boundary.

With regard to design 30 different house types are proposed across the 204 houses. This ensures that the site will offer a more distinctive feel. This is particularly prevalent due to the alternative aspects and outbuildings provided for the majority of the shared house types. This means that almost every house will be different, if not just by the actual house design, plot size, shape and positioning on the site, by also the garages that are provided for them. This is considered to represent a high standard of design as it would be unusual for a site of this size to offer the spread, variation and individuality for each property.

For materials it is proposed to use a materials palette comprising of buff, red and multi bricks for the walls with stone features, lintels and sills. Upvc is likely to be used for most or all of the windows on site in various shapes and sizes. Pantiles and slate type roof coverings would be used throughout in various mixes, types and styles.

Whilst the material palette is considered generally acceptable in terms of the final detail it is recommended that this be agreed by condition. This is to ensure an acceptable mix. The house designs represent the character of the wider area through the use of local vernacular in the form of buff, multi and red bricks with roof materials which also represent the surrounding characteristics. The predominant design is one of pitched roofs and gabled properties with bespoke designs at key points.

The layout has been designed with as few "dead frontages" as possible given the constraints. Those street frontages that are not occupied by open land area or dwelling frontages would include brick walls rather than fences, the brick walls are proposed to match the dwelling that they individually enclose.

The access roads would be formed from a central spine road which links the site to the existing roundabout, travelling through the open areas and through the centre of the site, with nine streets accessed from it. The spine road itself has been designed with a 5.5 metre wide road with an additional 2 metres of verge comprising of either turfed swales (for the SUDS system) or street trees. This landscaping has been carried through on a lesser scale through the other streets. These fairly wide street views would be exacerbated by front gardens and driveways from dwellings fronting onto the spine road which in the most part have hedges for frontage boundaries.

The open space to be provided on site would be mainly to the front of the site serving as an additional buffer between the A16 and the frontage houses facing that direction on the west edge of the site. Occupying this area would also be the surface water balancing ponds which are designed to have a low level of water generally (no more than 600 millimetres). The system is then designed not to exceed 1.2 metres in total depth. These ponds would add another functional element of infrastructure which would also add to the biodiversity and visual appearance of the area.

The design of the overall layout and designs of the plots are considered to represent a high standard of design in accordance with saved policy GEN1 of the North East Lincolnshire Local Plan and section 7 of the National Planning Policy Framework in relation to design subject to conditions. The broad mix of house types and styles would

also represent a good choice of high quality homes in accordance with section 6 of the National Planning Policy Framework.

6) Residential Amenity

The nearest residential properties that could be affected by the development and share a boundary with the proposal site are those located on Dunbar Avenue (to the south), Chandlers Close (to the south-east), Martin Way (to the east), Joseph Ogle Close (to the east), Ellen Way (to the north-east) and Huntsman's Chase (to the north-east).

In terms of the construction process, it is a known issue that construction work close to residential properties can lead to disruption however; it is considered that suitable conditions can be applied to ensure that any disruption is kept to a minimum. The conditions imposed would ensure that the works and deliveries were only carried out during sociable hours only and that dust and noise is adequately controlled through good working practices.

For the built development there are a number of issues that could cause harm to neighbouring properties if not designed well or mitigated against. The first of these is overshadowing, which can occur at any time of day primarily when receptors are to the north of the development. In this instance there are no existing properties directly to the north of the site. Proposed dwellings are well distanced from neighbours to the east and south-east which would ensure minimal overshadowing, particularly in the evening period when these properties could be affected. Properties to the south would not have any overshadowing issues due to their location.

The second issue is massing and dominance when a neighbour would have an undue sense of enclosure as a result of development. In this instance the proposal has been designed with adequate separation distances from neighbouring houses. Whilst the outlook would change, it is not considered that there would be any significant issues of dominance. The proposed properties that share boundaries with existing residential areas are two storey and single storey dwellings, town houses are primarily set within the confines of the site.

Thirdly, overlooking can represent issues of both privacy and dominance, which can impact on the normally expected residential amenity of neighbouring properties. In this instance, the proposal has been designed in order to minimise this by ensuring that plots which adjoin the boundaries of the site either do not face or rear onto neighbouring gardens, or that adequate distance by virtue of rear garden space has been provided, so that there is good separation distances between dwellings. Where neither of these has been achieved, bungalows have been provided to ensure the amenity of existing neighbours is adequately safeguarded and significant harm is not caused.

Another issue that could cause concern would be the influx of vehicles travelling down existing residential lanes and streets, this has been amended since the original approval by only providing a pedestrian and cycle link through to Martin Way to the east with

access for emergency vehicles provided by bollards so that the general public cannot drive motor vehicles through this partial cul-de-sac.

The Environmental Health Officer has raised a comment requiring background noise surveys prior to the development commencing however, as the site has previously been granted approval without this restriction and that it is an allocated site for this type of development, a condition would be unreasonable.

As can be seen from the documents 11 neighbour objections have been raised in relation to this proposal, most of which focus on transport, drainage and wildlife. Those relating to amenity issues have been fully and carefully taken on board and addressed through the design and assessment stages, as outlined above.

7) Highway safety and Transport

The proposed development is for a residential development of 204 dwellings, with access to be taken from the south-western side of the site via the existing roundabout utilising an additional arm to serve the development. The addition of 204 dwellings at this location would undoubtedly increase traffic further however it is considered that this would not represent a severe increase over the existing traffic levels in this location and at nearby junctions.

The Highways Officer considers that the increase of vehicular movements in this location onto the highway network would not significantly impact on the congestion or safety of the network to any material extent. Committed developments, the recent planning permission and the fact that the site is identified in the Local Plan, are all factors that have been taken into account.

Whilst the traffic increase is not considered to be severe, it is a requirement that the proposal is adequately served by a pedestrian crossing between the Louth Road roundabout and Toll Bar roundabout. Therefore, as per the previous approval on the site, a signalled pedestrian crossing would need to be provided between the two roundabouts so that it is possible for occupants of the site to access the bus service and Toll Bar secondary school safely. It is also a requirement that the developers provide two bus stops (one on either side of Louth Road) should the signalled pedestrian crossing interfere with the positioning of the existing bus stops. Both of these elements would be provided as a developer contribution as part of a Section 106 legal agreement.

The increase of vehicular movements on this highway would not be classed as severe when tested against the meaning of paragraph 32 of the National Planning Policy Framework. The proposal would be in accordance with saved policy GEN1 in relation to highway safety. It is also considered that cost effective improvements to the highway (by way of the crossing and bus stops) would also be provided as per the requirements of the National Planning Policy Framework.

As the proposal is for residential development in a sustainable location, the request of an air quality report as suggested by the Environmental Health Team would be unreasonable in this instance and in this location.

It is noted that a number of the comments received in relation to the application relate to traffic issues and point towards the out of date traffic counts that were submitted with the application. The traffic counts originally submitted were relevant in 2008 but this was considered out of date and further data was received and assessed accordingly. As noted above it is considered that there will be no adverse traffic impact.

8) Flood Risk/Drainage

The site is located in flood zone 1 which is an area at the lowest risk of flooding. The Council's Strategic Flood Risk Assessment (SFRA) shows that the development is not located in an area of breach hazard flood risk. Moreover it is not identified as an area at particularly high risk of surface water flooding.

Therefore it is considered that the site is not at risk of flooding from pluvial or fluvial sources and is a sequentially acceptable site in terms of flood risk.

Regardless of flood risk from pluvial or fluvial sources, there is also the potential for flooding to be increased from over utilised drainage channels and systems. Given recent government legislation all major housing sites are required to provide fully sustainable urban drainage systems (SUDS) in order to control surface water and to ensure that the run-off from the site is equal to or less than green field run-off rates. This is done by providing fully maintained attenuation systems and swales, along with storage tanks, balancing ponds. This represents a major housing development for which a fully sustainable surface water system is proposed which is of substantial benefit.

The proposal has been designed with 3 large balancing ponds and extensive turfed swales and drains down each street within the site. These infrastructure elements will appear primarily as landscape features for the most part with empty turfed swales along the highway verges and almost empty balancing ponds (less than 600mm of water). The general purpose for them is to allow high storage of water to overcompensate for the amount of impermeable surfaces being created so that in periods of high rainfall when the ground cannot soak up the water quick enough, the storage allows for a prolonged period of soakaway without causing flood risk to the site or the surrounding area. Essentially, this means that the surface water run-off from the development site when completed would be no greater than the existing run-off from the undeveloped agricultural field.

Anglian Water or the Council can adopt such a scheme, the idea is that they require little amounts of regular maintenance such as grass cutting and infrequent repairs. The scheme can also be maintained privately. The works can easily be tied into the open space and highway verge maintenance; it will just depend on whether the Council or Anglian Water would be willing to adopt them. A condition requiring a perpetual management scheme for the SUDS or an agreed contract of adoption is recommended.

The Council's Drainage Team consider the SUDS strategy and methods acceptable subject to possible minor alterations should the Council adopt this along with the adoption of the highway and verges. The scheme has also been designed to Anglian Water's requirements to ensure there is likelihood of adoption which is the preferred adoptee.

In addition to conditions relating to the securing of the surface water drainage system there must also be a condition restricting permitted development rights for gates, fences, walls and accesses so that none of these items can be erected or installed adjacent to the highway or swale systems. This is in order to ensure any of these items can be properly assessed for the safe and free flow of water in these drainage systems and channels.

Foul water drainage must also be considered. Anglian Water who maintain the surrounding sewer systems have been consulted as part of this proposal and are content that a link to the existing drainage can be achieved, they have also indicated that there is sufficient capacity for the proposal.

It is therefore considered that as the proposal is sequentially acceptable in terms of flood risk and that surface and foul water drainage can be satisfactorily dealt with. The proposal is therefore considered to comply with saved policy GEN1 of the North East Lincolnshire Local Plan and section 10 of the National Planning Policy Framework in relation to drainage and flood risk.

9) Heritage assets

The proposed development is, for the most, part self-contained within the site, separated from the surrounding landscape by mature vegetation, major highway infrastructure and existing residential development. Due to these factors, the proposal would not have any impact on built heritage assets in the area; this includes conservation areas, listed buildings and locally listed buildings.

In terms of archaeological considerations, the application site has previously been investigated and remains of an Iron Age field system was discovered, a mitigation strategy was also previously approved as part of previous applications. It is therefore considered that these archaeological remains do not pose an unsurmountable issue to the development of this site. A condition requiring suitable mitigation and evaluation of archaeological works is recommended on any permission in accordance with section 12 of the National Planning Policy Framework and saved Policy BH12 of the Local Plan.

10) Ecology and Landscaping

An ecological appraisal has been carried out, primarily in relation to protected species and the results of this, in the form of an ecology report was submitted with the planning application. It identifies that the proposal site does contain protected species in the form of badgers, it also concludes that subject to a works method statement and mitigation

scheme, the proposal would not have a detrimental impact on badgers or their setts in this instance, particularly as the actual development proposals would be away from the existing sett locations.

Notwithstanding this survey, it is understood that badgers, water voles and other protected species are transient breeds that can change their location and become more of a constraint in the period between when the last survey was done and when the development would actually be due to start. It is therefore a requirement that further ecological surveys are carried out prior to development commencing. Other forms of ecological mitigation are to be implemented in relation bird and bat boxes to be incorporated into the site and the fabric of the buildings.

The Council's ecology officer has reviewed the submitted information and has not raised any objection to the scheme, the officer has provided detailed information in relation to the wildlife and countryside acts. To ensure that the developer is aware of these other legal obligations, a note to applicant shall be added to any decision along with conditions securing the additional habitat provisions.

It is also important that proposals sustain some natural features within the site, the proposal indicates that a large number of trees and planting would be incorporated, along with open space, garden areas and the SUDS scheme which is also mainly turfed land. This level of landscaping is considered to be acceptable as it will provide a net increase in biodiversity in the context of bat boxes and bird nests and landscaping in accordance with section 11 of the National Planning Policy Framework.

CONCLUSION

The application is for full permission for a residential development of 204 houses on a site within the development limits of an existing settlement, which is allocated for residential development in the North East Lincolnshire Local Plan. The proposed dwellings and infrastructure have been designed so as not to adversely affect residential amenity, the character of the area or highway safety.

It is also considered that the surface and foul water drainage of the site can be suitably dealt with and there will be no negative issues in terms of ecology or heritage assets.

It is therefore considered that the proposal complies with the policies within the development plan and subject to safeguarding conditions and the completion of a Section 106 Legal agreement it is recommended that planning permission be granted.

RECOMMENDATION

Approved Conditions and signing of S106 with the decision delegated to the Director of Economy and Growth - Place

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

There must be no residential occupation of any of the proposed dwellings until the foul drainage works serving those properties have been connected to the main sewerage network and the connection shall thereafter be retained and maintained.

Reason

This condition is imposed to prevent pollution of the water environment and flood risk to ensure a satisfactory foul water disposal system in accordance with saved policy GEN1 of the North East Lincolnshire Local Plan.

(3) Condition

There shall be no residential occupation of the site until a scheme for the future and continued maintenance of the sustainable urban drainage strategy has been submitted to and approved in writing by the Local Planning Authority. The scheme shall identify a suitable adoption strategy and method of continued maintenance for the lifetime of the development. The strategy shall be adhered to in strict accordance with the approved details for the lifetime of the development.

Reason

To prevent an increased risk of flooding by ensuring the provision of a satisfactory means of maintenance for the sustainable surface water disposal in accordance with saved policy GEN1 of the North East Lincolnshire Local Plan.

(4) Condition

There must be no residential occupation of the site until a detailed scheme for the provision, retention and future maintenance of the public open space on site has been submitted to and approved in writing by the Local Planning Authority. The public open space shall be fully implemented prior to the residential occupation of the site and retained for the lifetime of the development.

Reason

This condition is imposed to ensure that the development proposals are provided with adequate areas of open space with suitable maintenance and/or adoption in accordance with saved policy LTC4 of the North East Lincolnshire Local Plan.

(5) Condition

Notwithstanding the Town and Country Planning (General Permitted Development) Order 2015 (or any statutory amendment thereto), no development under Schedule 2 Part 2, Classes A and B shall be permitted adjacent to the highway and connected swale systems.

Reason

To protect the functionality of the surface water drainage system in its entirety in accordance with saved policy GEN1 of the North East Lincolnshire Local Plan.

(6) Condition

Discharge of surface water into the adjacent beck shall not at any time exceed the greenfield run-off rates as identified in section 2 of the submitted drainage statement titled C0140, dated 26.10.15.

Reason

This condition is imposed in order to ensure no risk of increased flooding from the proposal site in accordance with saved policy GEN1 of the North East Lincolnshire Local Plan and section 10 of the National Planning Policy Framework.

(7) Condition

The proposed Sustainable Urban Drainage scheme shall be installed in complete accordance with the approved drainage statement C0140 and layout plan 143/A0/02 Rev J prior to the 150th house being commenced. Up to this point, each roadway that is constructed shall include the adjacent swale system and be connected to a balancing pond appropriately to ensure that greenfield run-off rate is not exceeded during the entire construction phase and throughout the lifetime of the development.

Reason

This condition is imposed in order to ensure no risk of increased flooding from the proposal site and to allow the phased approach to the development in accordance with saved policy GEN1 of the North East Lincolnshire Local Plan and section 10 of the National Planning Policy Framework.

(8) Condition

The implementation of the approved landscaping details shown on drawing 143-A0-04B shall be carried out in complete accordance with the Landscape and Biodiversity Management strategy reference 25198/A5/LBMS. The approved strategy must then be carried out in full and begin prior to the residential occupation of the site. Replacement planting as identified within the document must be carried out for a period of 10 years.

Reason

This condition is imposed to ensure that the planting as proposed is appropriately implemented and replaced in accordance with saved policy GEN3 of the North East Lincolnshire Local Plan and section 11 of the National Planning Policy Framework.

(9) Condition

No construction of a dwelling shall commence on site until a plan has been submitted to and approved in writing by the Local Planning Authority identifying the specific material blend to be used for each dwelling. The dwellings shall then be constructed in full accordance with the approved plan.

Reason

This condition is imposed in the interest of design features with the site to ensure compliance with saved policy GEN1 of the North East Lincolnshire Local Plan and section 7 of the National Planning Policy Framework.

(10) Condition

No development shall commence until a Construction Method Statement has been submitted to, and approved in writing by the Local Planning Authority. The approved statement shall be adhered to throughout the construction period and shall provide for:

- details how construction traffic shall enter and leave the site
- the parking of vehicles of site operatives and visitors,
- loading and unloading of plant and materials,
- storage of plant and materials used in construction of the development,
- location and surface of temporary access during construction, tie-in works and pre-condition survey,
- the erection and maintenance of any security hoarding including decorative displays and facilities for public viewing, where appropriate,
- a scheme for recycling/disposing of waste resulting from construction work.

Reason

In the interests of local amenity in accordance with saved policy GEN1 of the North East Lincolnshire Local Plan.

(11) Condition

No construction work shall be carried out and no machinery shall be operated on or before 08:00 or after 18:00 Mondays to Fridays inclusive, before 08:00 or after 13:00 on Saturdays and at any time on Sundays or Bank Holidays.

Reason

This condition is imposed in order to protect the amenities of nearby residents in accordance with saved policy GEN1 of the North East Lincolnshire Local Plan.

(12) Condition

No deliveries shall be taken in or dispatched out on or before 07:30 or after 18:00 Mondays to Fridays inclusive, before 08:00 or after 13:00 on Saturdays and at any time on Sundays or Bank Holidays.

Reason

This condition is imposed in order to protect the amenities of nearby residents in accordance with saved policy GEN1 of the North East Lincolnshire Local Plan.

(13) Condition

The noise, dust, mud and smoke mitigation measures as identified on document number 143/B3/1/DUST shall be employed for the full duration of the construction phase.

Reason

This condition is imposed in the interests of residential amenity in accordance with saved policy GEN1 of the North East Lincolnshire Local Plan.

(14) Condition

If during redevelopment contamination not previously considered is identified, then the Local Planning Authority shall be notified immediately and no further work shall be carried out until a method statement detailing a scheme for dealing with the suspect contamination has been submitted to and agreed in writing with the Local Planning Authority. Remediation shall be undertaken in accordance with the details approved.

Reason

To ensure that any previously unconsidered contamination is dealt with appropriately in accordance with saved policy GEN1 and GEN8 of the North East Lincolnshire Local Plan.

(15) Condition

Prior to development commencing on site a plan identifying the location, type and size of bat boxes and bird nest boxes to be provided on site along with timescales for installation, shall be submitted to and approved in writing by the Local Planning Authority and the boxes shall be installed in accordance with the approved timescales and thereafter retained for the life of the development.

Reason

This condition is imposed in the interests of biodiversity enhancements in accordance with saved policy NH3 of the North East Lincolnshire Local Plan and section 11 of the Nation Planning Policy Framework.

(16) Condition

Prior to development commencing on site further protected species surveys by a suitably qualified person shall be undertaken in line with the submitted ecology report prepared by Scarborough Nixon Associated Limited dated April 2015. Following the surveys, should any further species or habitats not previously identified, be found, a scheme for mitigation and replacement where necessary, shall be submitted to and approved in writing by the Local Planning Authority prior to works commencing. The approved mitigation measures shall then be complied with and adhered to throughout the construction process.

Reason

This condition is imposed as although extensive surveys were carried out prior to submission, it is important to ensure that any further protected species and their habitats are suitably identified and protected prior to the development of the site in accordance with saved policy NH3 of the North East Lincolnshire Local Plan and section 11 of the National Planning Policy Framework.

(17) Condition

The mitigation strategy and method statement as outlined in appendix 1 of the submitted ecology report prepared by Scarborough Nixon Associated Limited dated April 2015 must be fully complied with throughout the construction phase of development.

Reason

This condition is imposed as the presence of protected species in and around the development site means that the appropriate mitigation as proposed must be carried out throughout the construction process in accordance with saved policy NH3 of the North East Lincolnshire Local Plan and section 11 of the National Planning Policy Framework.

(18) Condition

Prior to the development commencing on site a scheme of archaeological investigation shall be submitted to and approved in writing by the Local Planning Authority, the scheme shall provide for:

- (i) Proper identification and evaluation of the extent, character and significance of archaeological remains within the application area;
- (ii) Assessment of the impact of the development on the archaeological remains;
- (iii) Proposals for preservation in situ, for investigation, recording and recovery of archaeological remains and publishing of the findings, it being understood that there is a presumption in favour of their preservation in situ, wherever possible;
- (iv) Sufficient notification and allowance of time for archaeological contractors nominated by the developer to ensure archaeological fieldwork as proposed in pursuance of (i) and (iii) above is completed prior to development commencing in the area of archaeological interest, and
- (v) Notification in writing to the Council Archaeologist of the commencement of archaeological works and the opportunity to monitor such work.

The development shall then only be carried out in accordance with the approved details.

Reason

The site is potentially of archaeological importance with known Iron Age history and thorough investigation is therefore required in accordance with saved policy BH12 of the North East Lincolnshire Local Plan.

(19) Condition

There must be no residential occupation of the site until the access point from the existing roundabout along with footways have been completed in to the site boundary as shown on the site layout plan drawing number 143/A0/02 Revision J.

Reason

This condition is imposed in the interests of highway safety in accordance with saved policy GEN1 of the North East Lincolnshire Local Plan.

(20) Condition

Prior to the occupation of the 50th dwelling the pedestrian and emergency access through to Martin Way as shown on drawing number 143/A0/02 Rev J shall be constructed, laid out in full and be available for use and shall thereafter be so retained

Reason

This condition is imposed in the interests of sustainable and emergency access in accordance with saved policy GEN1 of the North East Lincolnshire Local Plan.

(21) Condition

Prior to the occupation of each dwelling on site, the roadway, footpath and vehicular parking up to that dwelling from the site entrance shall be constructed in full accordance with approved plans 143/A0/02 Rev J and SD/001 Rev A unless otherwise first submitted to and approved in writing by the Local Planning Authority. The roadway, footpath and vehicular parking shall thereafter be retained in accordance with the approved details.

Reason

This condition is imposed in order to ensure that each dwelling is adequately served by vehicular and pedestrian access prior to being occupied in accordance with saved policy GEN1 of the North East Lincolnshire Local Plan.

(22) Condition

Notwithstanding the Town and Country Planning (General Permitted Development) Order 2015 (or any statutory amendment thereto), no development under Schedule 2 Part 1, Classes A and B shall be permitted within the curtilage of the plots 47-50 and plots 66-73 as identified on the layout plan drawing number 143/A0/02 Rev J.

Reason

In order to safeguard the integral design interests of the site and to protect the residential amenity of adjacent neighbours in accordance with saved policy GEN1 of the North East Lincolnshire Local Plan.

(23) Condition

The development shall be carried out in accordance with the following plans:

Site Location Plan - 143-27

Proposed Site Layout Plan - 143/A0/02 Revision J
Proposed Landscape Layout - 143/A0/04 Revision B
Proposed Site Sections - 143/A0/0212
Proposed Plans and Elevations for Plots 3, 4, 129 and 202 - 143/102
Proposed Plans and Elevations for Plots 7 and 204 - 143/103
Proposed Plans and Elevations for Plots 35, 45, 52, 56 and 151 - 143/106
Proposed Plans and Elevations for Plots 57, 101 and 117 - 143/107
Proposed Plans and Elevations for Plots 2, 27, 54, 128, 176 and 192 - 143/108
Proposed Plans and Elevations for Plots 9, 118, 122, 141 and 201 - 143/109
Proposed Plans and Elevations for Plots 119, 171, 183, 193, 198 and 200 - 143/113
Proposed Plans and Elevations for Plots 25, 86, 89, 92, 103, 114, 116, 124, 131 and 191 - 143/114
Proposed Plans and Elevations for Plots 34, 44, 53, 55, 85, 91, 112, 123 and 132 - 143/115
Proposed Plans and Elevations for Plots 99, 104, 107 and 121 - 143/116
Proposed Plans and Elevations for Plots 32, 33, 47, 48, 49 and 50 - 143/118
Proposed Plans and Elevations for Plots 23, 24, 96, 97, 133, 134, 179, 180, 181 and 182 - 143/119
Proposed Plans and Elevations for Plots 28, 29, 38, 39, 184 and 185 - 143/120
Proposed Plans and Elevations for Plots 30, 31, 36, 37, 105, 106, 108, 109, 110, 111, 172, 173, 174 and 175 - 143/121
Proposed Plans and Elevations for Plots 40, 41, 94, 95, 152, 153, 154 and 155 - 143/122
Proposed Plans and Elevations for Plots 135, 136, 137, 138, 139, 140, 145, 146, 147, 148, 149 and 150 - 143/126
Proposed Plans and Elevations for Plots 142, 143, 144, 167, 168 and 169 - 143/127
Proposed Plans and Elevations for Plots 194, 195, 196 and 197 - 143/129
Proposed Plans and Elevations for Garages Sheet 1 of 3 - 143/132
Proposed Plans and Elevations for Garages Sheet 2 of 3 - 143/133 A
Proposed Plans and Elevations for Garages Sheet 3 of 3 - 143/134 A
Proposed Plans and Elevations for Plots 8, 26, 46, 51, 84, 87, 120, 125, 126 and 156 - 143/110 A
Proposed Plans and Elevations for Plot 1 - 143/101 A
Proposed Plans and Elevations for Plots 5, 42, 102, 127, 130, 186, 199 - 143/104 A
Proposed Plans and Elevations for Plots 90, 93, 98, 100, 177 and 203 - 143/105 A
Proposed Plans and Elevations for Plots 6, 10, 43, 178 - 143/111 A
Proposed Plans and Elevations for Plots 83 and 88 - 143/112 A
Proposed Plans and Elevations for Plots 113, 115 and 170 - 143/117 A
Proposed Plans and Elevations for Plots 11, 12, 13, 14, 187, 188, 189 and 190 - 143/123 A
Proposed Plans and Elevations for Plots 15, 16, 17, 18, 19, 20, 21 and 22 - 143/124 A
Proposed Plans and Elevations for Plots 58, 59, 60, 61, 62, 63, 64 and 65 - 143/125 A
Proposed Plans and Elevations for Plots 157, 158, 159, 160, 161, 162, 163, 164, 165 and 166 - 143/128 A
Proposed Plans and Elevations for Plots 66, 67, 68, 69, 70, 71, 72, 73 - 143/130 B
Proposed Plans and Elevations for Plots 74, 75, 76, 77, 78, 79, 80, 81 and 82 - 143/131 A

Reason

For the avoidance of doubt and in the interests of proper planning and to ensure the proposal remains compliant with saved policy GEN1 of the North East Lincolnshire Local Plan.

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan 2003. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2003 and in particular saved policies GEN1, NH3, NH5, NH6, H1 and H2.

2 Added Value Statement

Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by providing pre-application advice and allowing additional information to be submitted to address concerns.

3 Highways

As works are required within the existing Highway, you are required to contact the Highways Management Section at least three months in advance of the commencement of works (Tel: 01472 324431).

4 Anglian Water

Anglian Water has assets close to or crossing this site or there are assets subject to an adoption agreement. Therefore the site layout should take this into account and accommodate those assets within either prospectively adoptable highways or public open space. If this is not practicable then the sewers will need to be diverted at the developers cost under Section 185 of the Water Industry Act 1991. or, in the case of apparatus under an adoption agreement, liaise with the owners of the apparatus. It should be noted that the diversion works should normally be completed before development can commence.

5 Secure By Design

The Local Planning Authority seeks to encourage Secured by Design accreditation where appropriate. This is a national police initiative that is supported by the Home Office Crime Reduction & Community Safety Unit and the Planning Section of the ODPM (Office of the Deputy Prime Minister). It is designed to encourage the building industry to adopt crime prevention measures to assist in reducing the opportunity for crime and the fear of crime,

creating safer, more secure and sustainable environments. It is recommended that the applicant apply for this award.

6 Fire Officer

It is a requirement of Approved Document B5, Section 16 Commercial Properties or B5, Section 11 for Domestic Premises that adequate access for firefighting is provided to all buildings or extensions to buildings. Adequate provision of water supplies for firefighting appropriate to the proposed risk should be considered. If the public supplies are inadequate it may be necessary to augment them by the provision of on-site facilities. Under normal circumstances hydrants for industrial unit and high risk areas should be located at 90m intervals. Where a building, which has a compartment of 280m² or more in the area is being, erected more than 100m from an existing fire hydrant, hydrants should be provided within 90m of an entry point to the building and not more than 90m apart. Hydrants for low risk and residential areas should be located at intervals of 240m.

7 Ecology

The Wildlife and Countryside Act (1981 and as amended) protects all wild birds, their nests and eggs. Under this Act it is an offence to:

kill, injure or take any wild bird;

take damage or destroy the nest of any wild bird while it is in use or being built; or

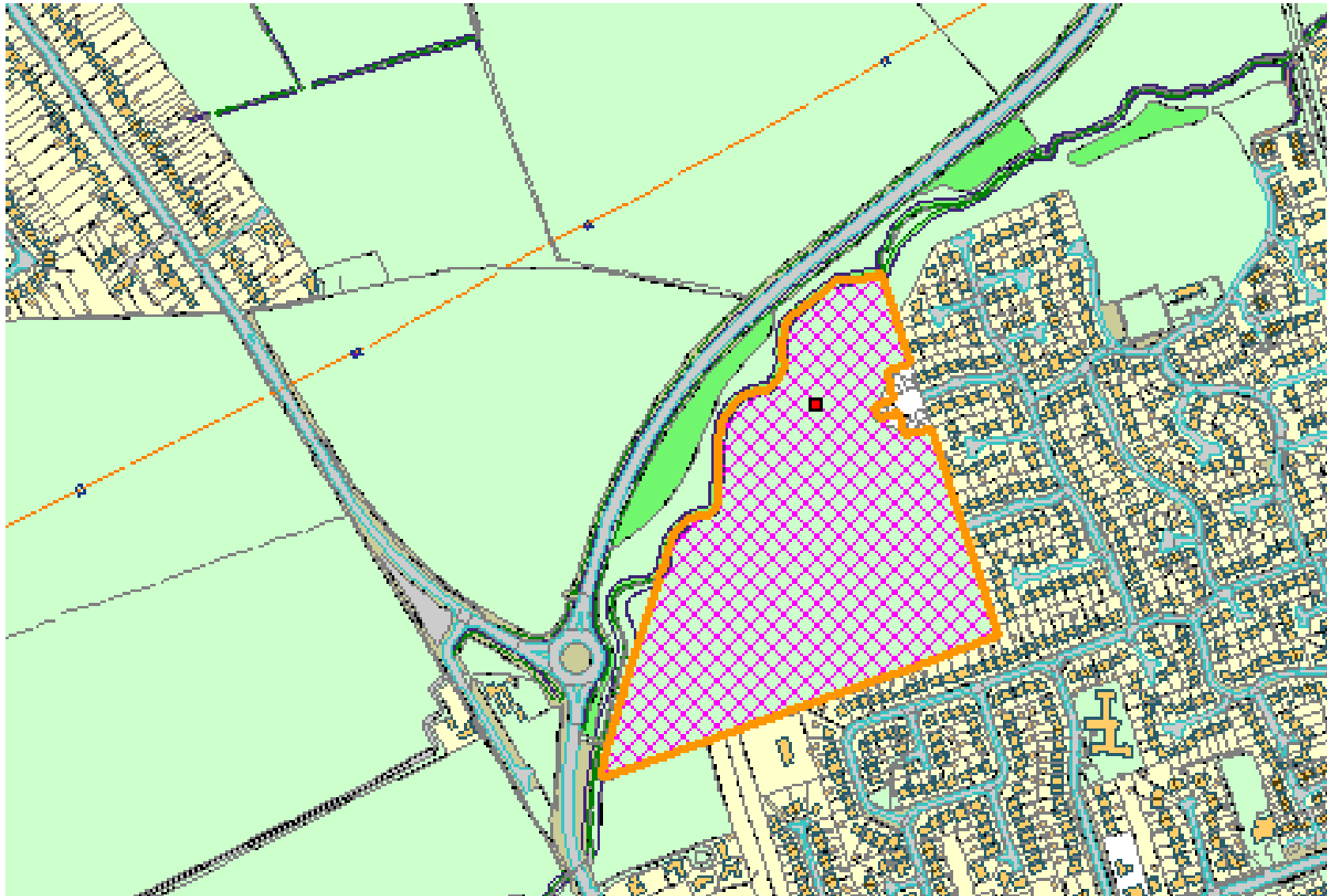
take or destroy the eggs of any wild bird.

In addition, certain birds listed on Schedule 1 of the Act are protected from disturbance whilst on or near a nest containing eggs or dependant young. Care must be taken not to disturb any nesting birds in the construction of the development.

8 Street naming and numbering

This application will require the creation of new postal addresses. You are advised to contact the Street Naming & Numbering Team on 01472 323579 or via email at snn@nelincs.gov.uk to discuss the creation of new addresses.

DM/0313/16/FUL
BECKLANDS, LAND OFF A16/LOUTH ROAD ROUNDABOUT, NEW WALTHAM





New Waltham Parish Council



Clerk to the Council – Mrs K Peers
11 Nicholson Road, Healing DN41 7RT

Email – 'clerk@newwalthamparishcouncil.com'

8th May May 2016

Planning Dept.,
NE Lincolnshire Council
BY EMAIL

Dear Sirs,

The following applications were discussed at a meeting of New Waltham Parish Council held on Wednesday 4th May 2016 and the comments agreed were as follows:

DM/0313/16/FUL Land off Ellen Way, New Waltham

Erection of 204 dwellings with ancillary parking, garaging, access road and associated works

The Parish Council has concerns about both traffic and drainage issues at this site, but fully understands that this site and particular development is an integral part of the new local plan and is allocated for housing. The Parish Council is aware that Planning have asked for a management plan for the watercourse on the site and the Parish Council feels that this is an important issue and must be followed up and be put in place before the development commences. Also the Parish Council is disappointed that the traffic information is from 20008 and feels that this does need updating and more appropriate times that those at which the original survey was carried out – ie an appropriate and fully representative traffic survey would include busy 'peak' times such as school traffic times.

Yours faithfully,

K Peers

Mrs. K. Peers
Clerk to New Waltham Parish Council

Comments for Planning Application DM/0313/16/FUL

Application Summary

Application Number: DM/0313/16/FUL

Address: Becklands Land Off A16/Louth Road Roundabout New Waltham Grimsby N E
Lincolnshire

Proposal: Erection of 204 dwellings with ancillary parking, garaging, access road and associated works

Case Officer: Simon Johnson

Customer Details

Name: Mrs Claire Dutton

Address: 31 Dunbar Ave New Waltham Grimsby

Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:As with the previous application to build land on this site - nothing is being done about the local infrastructure. Traffic is terrible around this area at peak times, making the village difficult to get in and out of!

Do the schools have enough space to accommodate the increase in local school places that will be required?

On a personal note I find it difficult to make out what type of housing will back onto mine on the plans. Previous application was a bungalow therefore not directly affecting us. However it is not possible to work out what sort of house is earmarked for behind my house. It looks like a large plot possibly indicating a 2 story house which will affect the light. We get little sunlight in our garden and at the back of our house as it is and a 2 story house would have quite a negative impact, making it even darker I believe!

Comments for Planning Application DM/0313/16/FUL

Application Summary

Application Number: DM/0313/16/FUL

Address: Becklands Land Off A16/Louth Road Roundabout New Waltham Grimsby N E
Lincolnshire

Proposal: Erection of 204 dwellings with ancillary parking, garaging, access road and associated works

Case Officer: Simon Johnson

Customer Details

Name: Mr Richard Pearce

Address: 53 Dunbar Ave New Waltham GRIMSBY

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: My main concern with this proposal is that there will be inadequate access for everyday traffic to this new area. It is likely people travelling to or from this new development will go via Cardiff Avenue which is currently congested with cars constantly parked up and down its length which is currently unacceptable. Furthermore the tortuous nature of the road system going further in to the new development must raise concerns for access by the emergency services.

A development of this size should have its own access out to the main road system which in this instance could easily be incorporated at the existing roundabout on the far side of development. This will be of no concern to the developers but SHOULD BE to the Planning Authority.

Comments for Planning Application DM/0313/16/FUL

Application Summary

Application Number: DM/0313/16/FUL

Address: Becklands Land Off A16/Louth Road Roundabout New Waltham Grimsby N E
Lincolnshire

Proposal: Erection of 204 dwellings with ancillary parking, garaging, access road and associated works

Case Officer: Simon Johnson

Customer Details

Name: Mrs yvonne birtles

Address: 5 ellen way new waltham gy

Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I object on the terms of traffic, cyden homes have used a traffic survey from 2008 - it doesn't take a great degree of knowledge to realize that traffic through the village has increased massively since then. That is without the extra anticipated traffic from the planned 800+ homes being built in Humberston, and the additional homes for the outer edge of Scartho. I guess this plan will like all the others submitted will be readily accepted by the council but I do hope working hours, street cleaning regimes and general access to the building plots will be adhered to and monitored unlike a recent development.

Comments for Planning Application DM/0313/16/FUL

Application Summary

Application Number: DM/0313/16/FUL

Address: Becklands Land Off A16/Louth Road Roundabout New Waltham Grimsby N E
Lincolnshire

Proposal: Erection of 204 dwellings with ancillary parking, garaging, access road and associated works

Case Officer: Simon Johnson

Customer Details

Name: Mr Rod Crookes

Address: 8 David Place New Waltham

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I object to this planning application for the reason that traffic congestion at the Toll Bar junction will be increased by the 200+ vehicles emerging onto the A16 at peak times.

I understand no relevant traffic survey has been undertaken since 2008. Traffic in the area has increased significantly in recent years. A new survey should be carried out before this plan is approved.

Rod Crookes

Comments for Planning Application DM/0313/16/FUL

Application Summary

Application Number: DM/0313/16/FUL

Address: Becklands Land Off A16/Louth Road Roundabout New Waltham Grimsby N E
Lincolnshire

Proposal: Erection of 204 dwellings with ancillary parking, garaging, access road and associated works

Case Officer: Simon Johnson

Customer Details

Name: Mr Ian Latimer

Address: 203 Station road New Waltham Grimsby

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: After viewing the proposed plans, impact on wildlife and environment etc it is clear that no thought has been given to the barn owls that hunt here, the deer that feed and all the other creatures that thrive on this land.

In addition to this, my families property backs onto the south side of the site. I notice a 2008 traffic survey has been used. The traffic has increased tremendously since then and is already gridlocked for hours at both roundabouts. With plans already in place for more housing opposite the school and behind Waltham fire station any further development would make the traffic situation impossible.

We do not need every surviving green belt in the town building on. Where does it stop?

Strongly oppose this proposal.

*Mr R. A. & Mrs J. A. Green
Rosellen, 3 Kaymile Close, New Waltham, DN36 4YB.*

FTAO – Simon Johnson 24
N. E. Lincolnshire Planning,
Origin Two, Origin Way,
Europarc, Grimsby,
DN37 9TZ

th May 2016

REF: - DM/0313/16/FUL, Land off Ellen Way, New Waltham.
Erection of 204 dwellings, etc. (Amended)

Dear S. Johnson,

In reference to the above planning application, after viewing the associated documents online, we would still like to **object**.

Regarding the recent Transport Assessment dated 16th May 2016.
Bus time table 3,1 Bus service – It may appear to be an adequate provision of services however there is no mention of the overcrowding on the buses at peak times leaving passengers waiting about for the next bus to arrive in 30 minutes or resigning themselves to other modes of transport.

3.2.8 and 3.2.9 Coach and rail services although relevant to the sustainability of the area as a whole do not have any bearing on the amount of vehicles that could potentially be existing from the new development causing traffic build up.

Table 3.2 Accessibility of Local Services – The journey times stated do not take in to account the tailbacks of traffic and the congestion during peak times especially which will only be exacerbated by more vehicles existing the proposed development to travel to the amenities.

Section 4.1.2 to 4.1.4 states that *'the roundabouts have 3 arms flaring at entry to provide dedicated turning lanes'*. It does not go on to further explain the problems when vehicles are trying to merge back in to the one lane when there is a high volume of traffic, once again causing queuing and slow moving traffic.

Section 4.2.4 Peak Times – listed as 8 til 9 am then 16.45 to 17.45.
As a resident of New Waltham using the routes mentioned all of the time I can assure you that there are further busy periods especially when the local schools and academy's, including the Humberston Academy, have their student leaving times meaning that queuing is also experienced between 14.20 and 16.00 on most week days.

4.2.8 **Does** state in the report **that queues were experienced**.

Not forgetting, of course, the extra traffic during the summer period when the route to Cleethorpes is extremely busy.

The above are only a few of the points we picked out of the Transport Assessment and that **having the only exit positioned on the A16/Louth Rd roundabout will only exacerbate the amount and queuing of traffic and will have a detrimental impact on the local highway network.**

We feel that the proposed development has too many properties which the village of New Waltham will not be able to sustain.

All of our previous comments still stand

We would like these **objection** comments to be considered by the planning dept when making a decision on the amended application **DM/0313/16/FUL**.

Yours Sincerely

Mrs Julie Green.

Emailed to planning@nelincs.gov.uk, cc'd to simon.johnson@nelincs.gov.uk.

*Mr R. A. & Mrs J. A. Green
Rosellen, 3 Kaymile Close, New Waltham, DN36 4YB.*

FTAO – Simon Johnson 5
N. E. Lincolnshire Planning,
Origin Two, Origin Way,
Europarc, Grimsby,
DN37 9TZ

th May 2016

REF: - DM/0313/16/FUL, Land off Ellen Way, New Waltham.
Erection of 204 dwellings, etc.

Dear S. Johnson,

In reference to the above planning application, after viewing the associated documents online, we would like to **object**.

Our main concerns are the following:-

The sustainability of village life with such a further in flux of residents, the building of this many dwellings will over intensify the plot of land.

Station Rd is already extremely busy with traffic especially at peak times without the added extra of more residents traversing along it.

The main exit route from the new development is straight on to the busy roundabout, A16/Louth Rd, where at peak times especially the traffic is at a standstill. The report states that there is queuing during the A.M. rush hour however many residents I'm sure will confirm that the queuing is more frequent during the day.

Having the only exit positioned here will only exacerbate the matter and will have a detrimental impact on the local highway network.

The traffic count from the report is dated the 9/9/2008 which in my opinion is too far out of date to be considered as viable data, traffic has increased considerably since then and will continue to do so with the added extra developments going ahead in Waltham and New Waltham

Residents will not feel encouraged to use public transport as stated in Section 1.2 on page 5 of the Reports Summary, even though the bus stop is relatively close. Residents have difficulty at present being able to board a bus in the morning due to school children, sixth form and college young adults filling them.

They will continue to use their own vehicles, the potential of at least 200 more from the new development (204 dwellings half of which could have 2 vehicles if not more and that's without visitors) which will add to the congestion.

We would like these **objection** comments to be considered by the planning dept when making a decision on the application **DM/0313/16/FUL.**

Yours Sincerely

Mrs Julie Green

(Emailed to planning@nelincs.gov.uk also posted via Royal Mail).

Comments for Planning Application DM/0313/16/FUL

Application Summary

Application Number: DM/0313/16/FUL

Address: Becklands Land Off A16/Louth Road Roundabout New Waltham Grimsby N E
Lincolnshire

Proposal: Erection of 204 dwellings with ancillary parking, garaging, access road and associated works

Case Officer: Simon Johnson

Customer Details

Name: Mrs Debbie Austwick

Address: 6 Huntsman's Chase New Waltham Grimsby

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: We object to the development on the basis that New Waltham has already been subjected to overbuilding and the level of traffic generated by 204 new dwellings onto the Peakes Parkway roundabout will result in additional traffic congestion on an already busy and congested stretch of road. In addition we do not think sufficient consideration has been given to existing local wildlife in the area. Behind and to the side of our property is an area of trees and hedges which looks to be destroyed by the development. This provides habitat and food for an abundance of different birds which come to our garden. There are also returning bats (protected species) each Summer that hunt in our garden and on the field to the side of our property and we have returning hedgehogs (an endangered species) which live and hunt in the surrounding area. We should like to see the plans revised to ensure this wild area is preserved.

Comments for Planning Application DM/0313/16/FUL

Application Summary

Application Number: DM/0313/16/FUL

Address: Becklands Land Off A16/Louth Road Roundabout New Waltham Grimsby N E
Lincolnshire

Proposal: Erection of 204 dwellings with ancillary parking, garaging, access road and associated works

Case Officer: Simon Johnson

Customer Details

Name: Mr Tim Smith

Address: 5 Hawthorne ave new waltham Grimsby

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Chaos on the roads!!! There is already enough of a problem getting out onto the A16 in the mornings and getting home in the evening. Another 204 houses is another potential 400/500 cars. With the development in Holton Le Clay going ahead as well, there will be disastrous effects on the roads here. the infrastucture of the roads in and around Grimsby is terrible. It is very unfair to local residents to expect them to have to cope with further chaos on the roads in this area!

Comments for Planning Application DM/0313/16/FUL

Application Summary

Application Number: DM/0313/16/FUL

Address: Becklands Land Off A16/Louth Road Roundabout New Waltham Grimsby N E
Lincolnshire

Proposal: Erection of 204 dwellings with ancillary parking, garaging, access road and associated works

Case Officer: Simon Johnson

Customer Details

Name: Mrs Elizabeth Newton

Address: 10 Chandlers Close New Waltham Grimsby

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: The traffic report is woefully out of date, or incorrect. Traffic at rush hour around Louth Rd roundabout and Toll Bar roundabout is already at a standstill, often backed up to Peaks Parkway. To add a further 200 households, with potentially 200-400 cars to this would be a huge mistake. Traffic is so backed up that commuters travel through New Waltham village in an attempt to avoid queuing, causing traffic to back up as far as Cardiff Avenue mini roundabout from Toll Bar roundabout. I would hope that with the uncertainty surrounding the crossing of roads around the roundabout by Toll Bar Academy students, the complication of adding further traffic to the mix would be one the council would wish to avoid at all costs. With development already planned for the site between Louth Road and Station Road opposite the academy, the situation is in danger of descending into chaos. The roads on the Harvest Pastures estate are also not equipped to take any extra traffic should this be mooted as an alternative access.

Comments for Planning Application DM/0313/16/FUL

Application Summary

Application Number: DM/0313/16/FUL

Address: Becklands Land Off A16/Louth Road Roundabout New Waltham Grimsby N E
Lincolnshire

Proposal: Erection of 204 dwellings with ancillary parking, garaging, access road and associated works

Case Officer: Simon Johnson

Customer Details

Name: Mr rick tunney

Address: 2 newlyn close new waltham grimsby

Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Local planning and highways to ensure no deviation from the plans and that no further access or egress can be gained from existing Greenlands estate other than the two planned cul de sacs on Martin Way and Ellen Way. No further access to be considered onto Dunbar Avenue or Tollbar avenue.

There are known birds of prey, barn owls, kingfishers, egrets, ducks and deer that use the beck and woodland as habitat and LA needs to ensure that all woodland and beck habitat remain undisturbed.

There are two areas of woodland that have grown up over the last 20 years that offer substantial sound reduction from the A16 and should remain undisturbed.

The area either side of Buck beck has been an established walk and dog walk route for over 20 years and in summer 2015 the developer fenced the area off restricting access to children and dog walkers. The LA should stipulate the developer reopens this route and enhances it for local residents to enjoy prior to commencement of the development.

There are currently large tailbacks of traffic that run from Tollbar roundabout onto Peaks Parkway daily from 16:30 until 18:00 and the current road layout is not fit for purpose to deal with the current traffic flows. The added housing and associated cars will worsen this. Highways need to review their strategy to consider impacts from this development and others in the area as vehicle congestion is not sustainable.

Comments for Planning Application DM/0313/16/FUL

Application Summary

Application Number: DM/0313/16/FUL

Address: Becklands Land Off A16/Louth Road Roundabout New Waltham Grimsby N E
Lincolnshire

Proposal: Erection of 204 dwellings with ancillary parking, garaging, access road and associated works

Case Officer: Simon Johnson

Customer Details

Name: Ms Alison Cowie

Address: 17 Albery Way New Waltham Grimsby

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Although this site received approval before that was before the huge amount of building was approved on Humberston Avenue. This further 204 houses will push schools, doctors and the road network to breaking point. New Waltham is being changed from a village to a town and this site, I believe, is over intensification for the area. I also note from the plans that there seems no provision for retaining the existing hedge line over the ditch where the site abuts to the Greenlands estate at the top end of Albery Way. This hedge line provides nesting opportunities for the birds and is probably where the local hedgehogs make their nests. It appears the hedge will be replaced with a high fence which will make the hedgehog foraging grounds in Albery Way inaccessible. I have daily visits from hedgehogs as do many houses here. If a fence must be used then gaps should be made in the gravel boards to allow hedgehogs to pass through to their established routes, this will have to be into Ellen Way and Huntsmans Chase as access purely to a garden may leave them no way of exiting that garden except the way they went in. Replacing a hedge with a few planted trees does not replace the nesting and foraging opportunities of an established hedge. It should also be noted that Skylark and Yellowhammer both nest in that field, both are ground nesting species, though the yellowhammer may also nest at low levels in hedgerows so if building is to be approved ground works should be started outside of the nesting season. Badgers are a protected species and although the setts will be protected care should also be taken to provide sufficient foraging to replace the loss of the field that they currently use. I urge that and existing hedgerows are retained.

Bywater, Andrea

From: Cllr - Harness, Stephen
Sent: 28 April 2016 18:11
To: PT - Internet Generated E-mails
Subject: Re: Planning Consultation: Becklands Land Off A16/Louth Road Roundabout -: DM/0313/16/FUL (01)

Dear Planning at nelincs.

At this time we have only this coment on the Becklands Development. We would like to point out that a dry ditch runs along the boundary of the rear gardens of the properties of Dunbar Avenue.

The drain has not been maintained for many years but access to the drain is required for future maintenance, unless the drain is to be culverted. The ditch has also harboured vermin on occasions.

Kindest regards

Mr and Mrs Harness
49 Dunbar Avenue
New Waltham

Sent from Samsung tablet

----- Original message -----

PLANNING COMMITTEE - 14th September 2016

ITEM: 2

RECOMMENDATION: Approval with Conditions

APPLICATION NO: DM/0312/16/FUL

APPLICATION TYPE: Full Application

APPLICATION SITE: Fairview, Rowan Drive, Healing, North East Lincolnshire, DN41 7RF

PROPOSAL: Erection of two dwellings with the installation of rooflights, new access and driveway, parking and landscaping

APPLICANT:

Mr Ted Long
15 Littlecoates Road
Grimsby
DN34 4NG

AGENT:

Ms Kate Kelly
Kate Kelly Architects
Unit 1 Caistor MUC
19 South Street
Caistor
LN7 6UB

DEPOSITED: 31st March 2016

ACCEPTED: 6th April 2016

TARGET DATE: 1st June 2016

PUBLICITY EXPIRY: 1st August 2016

AGREED EXTENSION OF TIME DATE:

16th September 2016

CONSULTATION EXPIRY: 26th May 2016 **CASE OFFICER: Ian Trowsdale**

PROPOSAL

The application seeks planning permission for a pair of semi-detached bungalows to be sited off Rowan Drive, Healing. In detail, the semi-detached dwellings are to be two bedded properties with sleeping accommodation in the roof space.

The proposed materials are given as red brick and concrete pantiles.

Included in the application is a new 1.8m high wall along boundary with 'Fairview' to screen this property from the proposed access that is proposed to run alongside the property and to provide screening to the new dwellings. A new 1.8m high fence is proposed to screen the remainder of the site from the immediate neighbours.

The application is brought to Committee in view of the objection from the Parish Council, number of objections received and because the application is recommended for approval.

The application was deferred from the August Committee for a site visit.

SITE

The site is located off a private road known as Rowan Drive. Rowan Drive provides vehicular access to 9 dwellings including a property known as 'Fairview' which is currently being extended and renovated. The access road varies in width from where it joins Poplar Road to the access to 'Fairview' from 3.5m to 4.5m wide. In places there are plants growing in and over the road.

There are no separate footpaths along Rowan Drive.

The access to 'Fairview' is some 95m from Poplar Road at the end of the road.

The site itself is rectangular in shape with the boundaries generally defined by 1.8m high close boarded fencing with a mixture of vegetation growing on and around the boundaries. There are several fruit trees and a large mature tree on the site. None of these are protected and will need to be removed should the proposed development be permitted. The site is flat.

Beyond the application site to the south are two properties known as 'Pintail' and 'Lilac' cottages. Part of the boundary fencing close to these properties is reduced to 1m in height. To the west of the site is a property known as 8 Lucas Court. The property has been extended with a conservatory.

RELEVANT PLANNING HISTORY

The planning history of the site includes the following applications:

08/1245/75 - to erect a bungalow and garage was refused permission and dismissed on appeal,

08/92/74 - to erect a bungalow and garage was refused permission and dismissed on appeal.

08/799/74 - to erect a bungalow and garage was refused permission and dismissed on appeal.

All these applications were refused on highway related grounds.

DC/210/12/WOL to demolish existing bungalow and erect 2 new bungalows was refused permission on highway grounds. More recently planning application DC/617/12/WOL to demolish existing bungalow and erect two bungalows was granted permission in October 2012. This application was renewed in July 2015 (App DM/0798/15/FUL refers).

Finally, application DM/0356/15/FUL gave permission to extend the existing dwelling, 'Fairview' in July 2015. This application is being implemented.

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

Government Guidance

NPPF7 - Requiring Good Design
NPPF10 - Challenge of Climate Change & Flooding

Development Plan

Saved Policies
GEN1 - Development Areas
H10 - Dwellings in Gardens, Adjoining & infill

The National Planning Policy Framework (the Framework) provides the national overview of planning policy and gives a presumption in favour of sustainable development. The Framework contains a set of core principles that includes the need to secure a high quality of development and a good level of amenities for both existing and future occupiers of land and buildings.

Local planning policy is contained in the North East Lincolnshire Local Plan 2003. As the site is within the development area of Healing, saved Policy GEN1 - Development Areas applies. This calls, amongst other things for new development proposals to have regard to adjoining land uses, neighbours and highway safety. In addition, as the proposal is for new residential development saved Policy H10 - Development of Dwellings in Gardens, Adjoining Land and Infilling applies. This policy too calls for development proposals to have regard to such issues as overlooking, loss of privacy, loss of private open space, level of nuisance from the movement of vehicles and any adverse impact on the character of the area such as density, access and character.

Paragraph 215 of the NPPF states that due weight should be given to policies in existing plans according to their consistency with the framework. Unless otherwise identified within the report, these policies are considered consistent with the framework and which have the presumption in favour of sustainable development.

REPRESENTATIONS RECEIVED

Healing Parish Council - object - over intensive development; impact to neighbours; accuracy of plans in respect of boundary treatment and drainage issues.

Highways - no objections in terms of highway access, capacity and safety, parking and servicing and sustainability.

Environment Team - recommends condition to cover hours of construction.

Drainage - surface water needs to be disposed in a sustainable manner, full details of surface water required.

Neighbours - objections received from 8 and 9 Lucas Court; Pintail and Lilac Cottages, 3, 4, 5, 9, 11 Rowan Drive, 53 and 59 Station Road - number of issues raised that includes intensification of development leading to highway safety issues on Rowan Drive, overshadowing and overlooking, loss of Willow Tree, accuracy of plans and wheelie bin storage.

Following the submission of amended plans since the application was deferred, further representations received:-

8 Lucas Court - object - over intensification; density; accuracy of plans; dominance; loss of light; loss of privacy; noise and disturbance.

Picardy, Rowan Drive - object - the entrance is too narrow and is unsafe for pedestrians and vehicles; over intensification; noise; loss of privacy; increased risk of flooding; accuracy of plans; health and safety; lack of refuse provision.

59 Station Road - object - over intensification of use; additional traffic along Rowan Drive; safety; increased risk of flooding.

APPRAISAL

The material considerations for the determination of the application are considered as follows:

1. Principle of Development,
2. Impact on the street scene and character of the area,
3. Impact on neighbours residential amenity, and
4. Access and impact on highway and pedestrian safety.

1. Principle of Development.

In terms of principle, the site lies within the village boundary as defined by the Local Plan and enjoys the benefit of an extant planning permission to demolish the existing dwelling on site and erect two bungalows. It is therefore the case that the site is part of the village and should be judged primarily against saved policy GEN1 and H10 of the North East Lincolnshire Local Plan 2003.

In terms of national policy, and sustainable development, the NPPF acknowledges that housing should be located where it will enhance and maintain the vitality of rural communities. Healing is a defined settlement in the local plan and being in the village, the

site is part of the community. Consequently, the principle of development on the site is acceptable under both national and local planning policy.

2. Impact on the street scene and character of the area

The proposed dwellings are located centrally within the plot with reasonable front and rear amenity areas. The rear gardens vary from 8.9m to 13.6m and the front area (to be used as a courtyard) between 4.7m and 8.9m to the proposed wall that will separate the amenity area for Fairview. Along each side of the proposed properties there is a footpath of just over 2m wide narrowing to 1.5m on the western boundary and 1m on the eastern boundary. The principal elevation of the proposed dwellings would face towards Fairview and the courtyard. Separating the proposed dwellings, the courtyard and Fairview a new 1.8m high wall is proposed to screen the private amenity area of Fairview from the development.

Given the location of the site, any views offered from Rowan Drive would be limited by the configuration of the access road and distance from the road. Therefore, the impact of the development on the street scene would be minimal.

This part of Healing has a relatively dense form of development, with housing in various forms and designs. The proposed dwellings have a reasonable level of amenity space with enclosed rear gardens and spaces to the frontages for car parking and manoeuvring spaces for vehicles to turn and leave in a forward gear. As such, this leads to the conclusion that the development proposed would not unduly harm the character of the area and not conflict with saved policies GEN1 and H10 of the Local Plan or the overriding aim of The Framework to seek a high quality form of sustainable development.

3. Impact on neighbours' residential amenity.

The proposed dwellings are modest in size but do depart from the previous scheme in terms of design, with accommodation proposed at first floor level. Within the roof space are proposed bedrooms lit by roof lights. Having regard to the issues raised by neighbours in respect of overlooking and overshadowing, full consideration has been given to these issues. The original scheme included dormer style windows and having regard to the backland location of the site, the scheme was amended to delete the dormer windows and insert high level roof lights to the bedrooms; to allow light into the bedroom but not overlook neighbouring properties. As such, the applicant has taken reasonable steps by amending the design of the proposed development to minimise the impact of the scheme on neighbours.

It is acknowledged that the outlook for neighbours on to the development site will change should the development be permitted and consideration has been given to whether the development would have a significant impact in terms of loss of light and overshadowing. The applicant is proposing screening the site with a 1.8m high close boarded fence. The roof of the development will project above the fence. Given the orientation of existing dwellings, spacing and location of the new development, loss of amenity is not

considered to be a significant issue to warrant refusing planning permission for amenity reasons.

Further representations have been received in respect of the increased risk of flooding should the development go ahead. Although photographs have been received in respect of minor flooding after heavy rain, there is no evidence of significant issues in respect of drainage issues and as such Drainage Officers do not object provided there is a fully worked up scheme for drainage. This matter is covered by condition if the development is approved.

4. Access and impact on highway and pedestrian safety.

Neighbours who access their properties onto Rowan Drive have raised concerns over the additional traffic from the development using the private road. The proposed development would see an increase in dwellings on Rowan Drive from two additional dwellings. This is not a significant increase in vehicle numbers to warrant the application being refused on highway safety grounds. The Highways Officer has not objected to the proposed development.

In a previous application provision was made for vehicular access to Pintail and Lilac Cottage. Although this is not part of the current application, it has been raised as an issue by some residents in respect of further traffic that could use Rowan Drive. In the interests of potential impacts on highway and pedestrian safety, a condition is recommended removing permitted development rights - that could allow for the creation of vehicular access to Pintail and Lilac Cottage and also any access through to Carlton Avenue.

CONCLUSION

In drawing together the main issues in considering the 'planning balance' for accepting the application, or not, it is necessary to consider the advice in Paragraph 14 of the National Planning Policy Framework. This sets out clear guidance for taking decisions on planning applications and stresses the need to approve development proposals that accord with development plans without delay or where the development plan is absent, silent or relevant policies are out of date, granting permission unless any adverse impacts in doing so would significantly and demonstrably outweigh the benefits, when assessed against policies in the Framework taken as a whole or where specific policies in the Framework indicate development should be restricted.

The Framework has at the heart of it a presumption in favour of sustainable development. The Council do not have a five year supply of housing land and so according to Paragraph 14 of the Framework, there is a presumption in favour of sustainable development. Two new dwellings would contribute, albeit in a very small way, to meeting the unmet housing demand in the borough, which is a benefit of the scheme.

The main issues raised by residents against the scheme relate to the effect of the proposal on the character and appearance on the surrounding area, residential amenity and highway safety. Whilst the proposal would increase the density of development on the parcel of land from the previously approved scheme, the proposal would not appear out of character in the area and would not adversely affect residential amenity. While the proposal would result in additional traffic movements along Rowan Drive there is good forward visibility along the length of the private road. At its junction with Poplar Road good visibility is available in both directions along Poplar Road. Overall, the small increase in comings and goings would not be sufficient grounds to object to the development on highway safety grounds.

In respect of all the matters that have been raised, there are not sufficient reasons to warrant the application being refused permission and the application is recommended for approval.

RECOMMENDATION

Approval with Conditions

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

The development shall not commence until details of all external materials to be used for the construction of the dwellings have been submitted to and approved in writing by the Local Planning Authority. Once approved, the development shall be carried out in strict accordance with the agreed details.

Reason

To ensure the development has an acceptable external appearance and is keeping with the visual amenity and character of the area in accordance with saved Policy GEN1 of the North East Lincolnshire Local Plan 2003.

(3) Condition

Before any development of the dwellings commences all boundary fencing and walls shall be constructed and completed as shown on Drawing No. 169.02B. Once completed, they shall be retained as approved thereafter.

Reason

In the interests of residential amenity in accordance with saved Policy GEN1 of the North East Lincolnshire Local Plan 2003.

(4) Condition

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any statutory amendment thereto), no development under Schedule 2, Part 1, Class A, B and E shall be permitted within the curtilage of the dwellings.

Reason

To protect residential amenity and the visual character of the area in accordance with saved Policy GEN1 of the North East Lincolnshire Local Plan 2003.

(5) Condition

At no point shall vehicular access be provided on or over the site to residential properties named Lilac Cottage or Pintail Cottage and at no point shall pedestrian or vehicular access be provided through the site to Carlton Avenue without the prior approval from the Local Planning Authority.

Reason

In the interests of highway and pedestrian safety in accordance with saved Policy GEN1 of the North East Lincolnshire Local Plan 2003.

(6) Condition

No dwelling shall be occupied until the vehicular access to it and the vehicle parking spaces and garaging serving it have been constructed in accordance with the approved plans.

Reason

For highway safety reasons and in the interest of residential amenity in accordance with saved Policy GEN1 of the North East Lincolnshire Local Plan 2003.

(7) Condition

No development shall commence until a scheme for the provision of surface water drainage has been submitted to and approved in writing by the Local Planning Authority. Such approved scheme shall be implemented in its entirety prior to occupation of any dwelling, and thereafter retained and maintained.

Reason

To prevent an increased risk of flooding by ensuring the provision of a satisfactory means of surface water disposal in accordance with saved Policy GEN1 of the North East Lincolnshire Local Plan 2003

(8) Condition

Prior to the commencement on site of development, a topographical survey shall be submitted to and approved in writing by the Local Planning Authority. The survey shall confirm the existing levels of the site and at no time shall those levels be raised.

Reason

To protect the surrounding area from the potential of surface water flooding in accordance with saved Policy GEN1 of the North East Lincolnshire Local Plan 2003.

(9) Condition

No development shall commence until a Construction Method Statement has been submitted to and approved in writing by the Local Planning Authority. The approved Statement shall be adhered to at all times throughout the construction period. The Statement shall provide for:-

1. The routing of heavy construction vehicles,
2. Parking of vehicles of site operatives,
3. Loading and unloading of plant and materials used in the construction of development,
4. A management plan to control the emission of dust and dirt during construction identifying suitable mitigation measures,
5. A scheme to control noise during construction, and
6. The hours during which machinery may be operated, vehicles may enter and leave, and works be carried out on the site.

Reason

To protect the amenities of nearby residents in accordance with saved Policy GEN1 of the North East Lincolnshire Local Plan 2003.

(10) Condition

The proposed development shall be carried out in accordance with the following approved plans:

- Drawing No. 169.01B - Site Location Plan,
- Drawing No. 169.02B - Block Plan,
- Drawing No. 169.03A - Proposed Floor Plans,
- Drawing No. 169.04A - Proposed Elevations,
- Drawing No. 169.05 - Proposed Section A-A.

Reason

In the interests of proper planning and the avoidance of doubt.

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan 2003 in the first instance and the National Planning Policy Framework. The proposal would not harm the area character or

residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2003 and in particular saved Policy GEN1 - Development Areas and saved Policy H10 - Development of Dwellings in Gardens, Adjoining Land and Infilling.

2 Added Value Statement

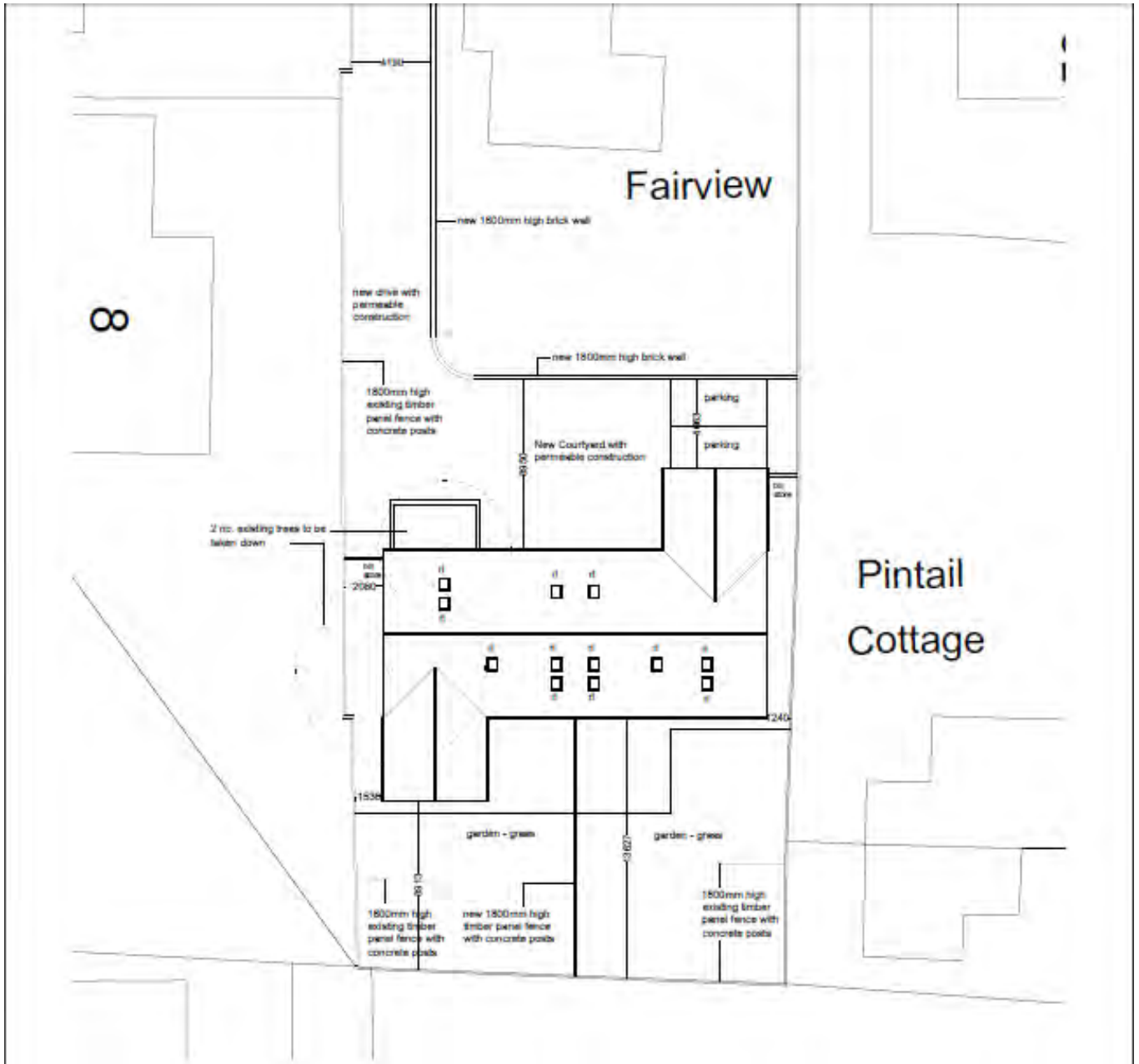
Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by carrying out negotiations.

DM/0312/16/FUL

FAIRVIEW, ROWAN DRIVE, HEALING





HEALING PARISH COUNCIL

**ELECTRONIC PLANNING CONSULTATION –
SUBMISSION OF COMMENTS/OBSERVATIONS**

11th August 2016

To:
planning@nelincs.gov.uk

Dear Sirs,

The following were discussed at a meeting of Healing Parish Council Meeting held on Tuesday 9th August 2016, and the observations were as follows:

DM/0312/16/FUL Fairview, Rowan Drive

Erection of two dwellings with the installation of rooflights, new access and Driveway, parking and landscaping

The Parish Council is still in objection to this application and would support the concerns and objections of adjacent residents. The Parish Council does not feel it appropriate to have two dwellings on a plot which in its opinion is suitable only for one – it has no objections to one dwelling, but does not support two dwellings and it would have a detrimental impact upon the amenities the neighbouring properties currently enjoy and which they have a right to continue to enjoy. Two dwellings would also result in a substantial overintensification of the plot which would be completely out of character with the other properties on this private road. The Parish Council wish to see the application refused for two dwellings on this plot.

Yours faithfully,

K J Peers

Kathy Peers
Clerk to the Parish Council

HEALING PARISH COUNCIL

**ELECTRONIC PLANNING CONSULTATION –
SUBMISSION OF COMMENTS/OBSERVATIONS**

12th May 2016

To:
planning@nelincs.gov.uk

Dear Sirs,

The following were discussed at a meeting of Healing Parish Council Meeting held on Tuesday 10th May 2016, and the observations were as follows:

**DM/0312/16/FUL Fairview, Rowan Drive, Healing
Erection of two dwellings with dormers to front and rear and the
Installation of rooflights, new access and driveway, parking and landscaping**

The Parish Council originally submitted comments advising it had no objections to this proposal, but following correspondence with residents, the application was re-discussed at the meeting held on Tuesday 10th May. The Parish Council members had not fully comprehended the plans and is now submitting objections to the proposals. The original granted permission for two houses on the whole plot, including the original dwelling, Fairview, is not a problem for the Parish Council but to leave the original dwelling in place and put two additional houses on the remaining plot is unacceptable and would, in the Parish Council's opinion, result in an overintensification of plot which would be to the detriment of the neighbouring properties and the amenities they current enjoy. The two proposed dwellings would have virtually no amenity space and this is totally out of keeping with other properties in this area. Also the Parish Council has concerns over the accuracy of the plans submitted with regard to boundary details etc. and also has concerns over the access to these proposed properties and the issue of drainage impact upon neighbouring properties. Therefore the Parish Council would wish to see the application refused.

Yours faithfully,

K J Peers

Kathy Peers
Clerk to the Parish Council

DM/0312/16/FUL Fairview, Rowan Drive, Healing

Erection of two dwellings with dormers to front and rear and the

Installation of roof lights, new access and driveway, parking and landscaping

No objections.

Yours faithfully,

Kathy Peers

Clerk to the Parish Council

Comments for Planning Application DM/0312/16/FUL

Application Summary

Application Number: DM/0312/16/FUL

Address: Fairview Rowan Drive Healing North East Lincolnshire DN41 7RF

Proposal: Erection of two dwellings with the installation of rooflights, new access and driveway, parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Dr Anthony Salisbury

Address: 8 Lucas Court Healing Grimsby

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: On the initial application in 2012 the owner had wanted two dwellings. The original dwelling was going to be taken down and had been uninhabitable for some years. This therefore meant the whole plot was going to increase from 1 to 2 dwellings.

We could see neither dwelling overlooked our property. They had been planned with consideration for everyone. We therefore did not raise any objections when the amended plans were submitted.

The front plot sold and is presently undergoing building works, this left half the original plot for the one remaining approved bungalow. No work has started since approval. Again we had no issues with the other half of the plot having a bungalow on there too. But now we are faced with an application for two bungalows to be placed on the original half plot thus the original one bungalow being replaced with three in total on the whole original plot.

We strongly object to the new application due to the following

OVER INTENSIFICATION OF THE PLOT

Plan shows how the applicant wants 2 houses on the same plot starting only 1 metre from our joint boundary. plans show how these are going to be squeezed on to the plot. We do not feel there is comfortable room for two dwellings. plans show how the building wall starts just within the legal limit of 1 metre with our fence.

Plans show the percentage of land taken up by each house is greatly outweighed by the amount left to garden. The proposed development will dominate the whole plot. All of the surrounding neighbours of the plot presently continue to enjoy the amenities - beautiful views and privacy. Not

only will these plans not be in keeping with the surrounding property / garden ratio, the views will be drastically changed to the detriment. What similar amenities are available to the planned properties as there doesn't appear to be anything similar?

OUTDATED PLANS

The plan does not show our orangery on the side of our house. A conservatory has been present since the house was built in 1993 - the original being replaced a few years ago with an orangery. we wanted to spend time in there all year due to the outlook and views of our back garden and patio area, with the trees from the said plot being in the background view.

The proposed side elevation of the planned building will run parallel with the side elevation of our conservatory Windows only 8m away.

BOUNDARY ISSUE

We note that on the original application in 2012 for just 2 dwellings on the whole plot of Fairview the 'Existing Site Plan' Ref DC/617/12/WOL details the position of all trees. There are 2 trees along the boundary line of Fairview and our house. This plan clearly states the largest of the trees is on our side of the boundary (see small print) yet on the current application 'Block Plan' the boundary line has been moved and this tree sits in plot 1's boundary. On comparison we are unsure why the boundary has moved.

(After seeking advice from RICS and the Land Registry we believe our fence is positioned approx 40cm short of the true boundary, positioned to accommodate the three tree trunks which run along the boundary. We are seeking further advice as we now believe part of this tree to be ours and do not want it disturbing.

IMPACT ON OUR QUALITY OF LIFE

For 10 yrs we have enjoyed privacy in our garden and orangery and sun room /kitchen. All of these rooms will be affected. 8 metres away from the house wall of our living area, the plan shows the full side of a semi detached dwelling. Presently we look out on to beautiful surroundings our garden containing shrubs and small trees - and the trees in the said plot of which will be cut down if these plans be approved. The old trees would be replaced with a brick wall as far as our view is concerned. As these bungalows have an upstairs the roof apex will reach similar heights of a normal house.

As the application is for two dwellings on the back plot they will not only impose greatly on our views but our privacy in our garden. Our living space will be fully affected with windows and side upstairs window overlooking our main part of garden we use to sit out and the living area aspect of our house.

In essence we feel the previous application in 2012 had consideration, to which we had no objections - fully understanding there is enough space to place two comfortable sized bungalow

dwelling on the one original plot which showed consideration and respect for neighbours and their homes and living space. It was fully in keeping with the houses that immediately surround it.

The current application has been increased to three dwellings across the whole original plot.

We feel this current application is driven fully by personal gain for the applicant - to over intensify the plot to its absolute limits - with no consideration or respect for the comfort of others.

Bywater, Andrea

From: Tony And Claire >
Sent: 26 July 2016 20:42
To: PT - Internet Generated E-mails
Subject: DM/0312/16/FUL

Dr Tony Salisbury - 8 Lucas Court - neighbour objection

Further to my previous objections which I hope will still be taken into account -

In terms of over intensification - your own North East Lincs survey of housing density in 2013 showed Healing had a very low average density of 12.7 dwelling per hectare. It is at its lowest of 5.2 in the Avenue and Station Road area - where this proposal is sited. I would suggest putting three dwellings and six cars on a plot where there was one small bungalow and a small orchard - greatly exceeds this density and is not in keeping with surrounding properties and the larger surrounding area.

For whatever reason none of the plans have shown our conservatory, this has been present since the house was built in 1993 (replaced in 2012). This is our nearest room to the proposed development. My family and I live in this and the rear of the house predominantly.

In terms of loss of residential amenity I would suggest dominance is an issue. The two storey aspect of the building adversely impinges on our property and will cause loss of light due to size, location and proximity of the proposed dwelling.

With this comes loss of privacy. The upstairs rooms directly overlook the most private part of our garden where the family sit, talk and eat.

The proposed end window looks directly in to our conservatory as do the roof lights in the bedrooms.

Finally in terms of noise and general disturbance. This will clearly be a significant issue during the build for all local residents especially ourselves, whilst this will be limited to duration of the build the ongoing impact of some six cars passing approximately 1 metre away from our living space and our boundary, this clearly adversely affects our amenity in terms of using our garden and also is 5-6 metres from our children's bedrooms.

Sent from my iPad

Sent: 26 July 2016 20:18
To: PT - Internet Generated E-mails
Subject: DM/0312/16/FUL

We have had problems submitting our objections on line.

Address: Fairview Rowan Drive Healing North East Lincolnshire
 DN41 7RF

Proposal: Erection of two dwellings with the installation of
 rooflights, new access and driveway, parking and
 landscaping

:

Customer Details

Name:

Email:

Address:

Comments Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Reasons for comment:

Comments: On the initial application in 2012 the owner had wanted two dwellings. The original dwelling was going to be taken down and had been uninhabitable for some years. This therefore meant the whole plot was going to increase from 1 to 2 dwellings.

We could see neither dwelling overlooked our property. They had been planned with consideration for everyone. We therefore did not raise any objections when the amended plans were submitted.

The front plot sold and is presently undergoing building works, this left half the original plot for the one remaining approved bungalow. No work has started since approval. Again we had no issues with the other half of the plot having a bungalow on there too. But now we are faced with an application for two bungalows to be placed on the original half plot thus the original one bungalow being replaced with three in total on the whole original plot.

We strongly object to the new application due to the

following

OVER INTENSIFICATION OF THE PLOT

Plan shows how the applicant wants 2 houses on the same plot starting only 1 metre from our joint boundary. plans show how these are going to be squeezed on to the plot. We do not feel there is comfortable room for two dwellings. plans show how the building wall starts just within the legal limit of 1 metre with the boundary line.

Plans show the percentage of land taken up by each house is greatly outweighed by the amount left to garden. The proposed development will dominate the whole plot. All of the surrounding neighbours of the plot presently continue to enjoy the amenities - beautiful views and privacy. Not only will these plans not be in keeping with the surrounding property / garden ratio, the views will be drastically changed to the detriment. What similar amenities are available to the planned properties as there doesn't appear to be anything similar?

OUTDATED PLANS

The plan does not show our orangery on the side of our house. A conservatory has been present since the house was built in 1993 - the original being replaced a few years ago with an orangery. we wanted to spend time in there all year due to the outlook and views of our back garden and patio area, with the trees from the said plot being in the background view.

The proposed side elevation of the planned building will run parallel with the side elevation of our conservatory Windows approx only 8m away.

BOUNDARY ISSUE

We note that on the original application in 2012 for just 2 dwellings on the whole plot of Fairview the 'Existing Site Plan' Ref DC/617/12/WOL details the position of all trees. There are 2 trees along the boundary line of Fairview and our house. This plan clearly states the largest of the trees is on our side of the boundary (see small print) yet on the current application 'Block Plan' the boundary line has been moved and this tree sits in plot 1's boundary. On comparison we are unsure why the boundary has moved.

(After seeking advice from RICS and the Land Registry we believe our fence is positioned approx 40cm short of the true boundary, positioned to accommodate the three tree trunks which run along the boundary. We are seeking further advice as we now believe part of this tree to be ours and do not want it disturbing.

IMPACT ON OUR QUALITY OF LIFE

For 10 yrs we have enjoyed privacy in our garden and orangery and sun room /kitchen. All of these rooms will be

affected. 8 metres away from the house wall of our living area, the plan shows the full side of a semi detached dwelling. Presently we look out on to beautiful surroundings our garden containing shrubs and small trees - and the trees in the said plot of which will be cut down if these plans be approved. The old trees would be replaced with a brick wall as far as our view is concerned. As these bungalows have an upstairs the roof apex will reach similar heights of a normal house.

As the application is for two dwellings on the back plot they will not only impose greatly on our views but our privacy in our garden. Our living space will be fully affected with windows and side upstairs window overlooking our main part of garden we use to sit out and the living area aspect of our house.

In essence we feel the previous application in 2012 had consideration, to which we had no objections - fully understanding there is enough space to place two comfortable sized bungalow dwellings on the one original plot which showed consideration and respect for neighbours and their homes and living space. It was fully in keeping with the houses that immediately surround it.

The current application has been increased to three dwellings across the whole original plot.

We feel this current application is driven fully by personal gain for the applicant - to over intensify the plot to its absolute limits - with no consideration or respect for the comfort of others.

Further to this objection and our previous ones which I hope are still taken into consideration - we would like to point out the bonfires on this site are becoming a nuisance. I would also ask whether all of the burning is of waste from just this site alone or whether additional waste is being brought to the site to burn.

Sent from my iPad

Comments for Planning Application DM/0312/16/FUL

Application Summary

Application Number: DM/0312/16/FUL

Address: Fairview Rowan Drive Healing North East Lincolnshire DN41 7RF

Proposal: Erection of two dwellings with dormers to front and rear and the installation of rooflights, new access and driveway, parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mr Andrew Stanley

Address: 9lucas court Healing Grimsby

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Having looked at the plans and previously lived down Rowan drive traffic down an unadopted road was always an issue and adding a potential 2 more cars to the original planning is unacceptable. Also the development looks to closely border the perimeter boundary and having built my house backing onto this land we were enforced to be 3 meters from any boundary how can the council be hypocritical in changing the goalposts for each application submitted. The original planning permission was for 2 small single story bungalows and now one bungalow is already under construction this application has asked for a further two dwellings - not one, and it is for a 2 storey dwelling which would have privacy issues with all residents around as it has windows overlooking the front and rear of the properties. we had no objections to the original outline planning previously submitted and passed by the council, but this new application is totally different and should not be allowed to go ahead. All residents near this land will be affected, from Rowan Drive, Lucas Court and Carlton lane.

Comments for Planning Application DM/0312/16/FUL

Application Summary

Application Number: DM/0312/16/FUL

Address: Fairview Rowan Drive Healing North East Lincolnshire DN41 7RF

Proposal: Erection of two dwellings with the installation of rooflights, new access and driveway, parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mr Andrew Stanley

Address: 9 Lucas court Healing Grimsby

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: With reference to this new proposal my objection and comments sent on 27th April still stand. With addition to this when building houses on Lucas court the council insisted strongly that a water course running from the south west corner of this proposal through 4 Properties on Lucas court be cultivated properly to allow this run off to feed into the dyke adjacent to the moated manor site, can you please advise me of the consideration that has been given in this proposal for the water course to remain. I still feel strongly that the plans for this small development, in a very awkward location where there are houses with NO vehicle access, has been changed to try and accommodate more dwellings, adding to the traffic chaos.

Comments for Planning Application DM/0312/16/FUL

Application Summary

Application Number: DM/0312/16/FUL

Address: Fairview Rowan Drive Healing North East Lincolnshire DN41 7RF

Proposal: Erection of two dwellings with the installation of rooflights, new access and driveway, parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mr jeff tuffnell

Address: pintail cottage rowan drive healing grimsby

Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: The original planning was to knock down Fairview and position 2 bungalows (not dormers/velux rooflights)

near the center of the plot . Fairview is now in process of been renovated and extended on one plot

and on the other plot 2 dormers which when we look at the plans will be built a few feet from our boundary this will certainly throw a shadow and have less light over part of our garden.

We also note 2 windows will now also overlook our garden and house so invading our privacy.

We note that the applicant when asked if any trees etc. could influence the development etc..

They answered no. When in fact we have an old 30 plus foot weeping willow tree 10feet from the boudary where they want to build. The roots of this tree are close to the surface and can travel long distances so any excavation work will damage the roots and could kill this beautiful tree.

We would like to also point out that we have a sewage pipe which runs through the site which we don't know if the applicant is aware of this . As obviously we do not want it damaging.

Comments for Planning Application DM/0312/16/FUL

Application Summary

Application Number: DM/0312/16/FUL

Address: Fairview Rowan Drive Healing North East Lincolnshire DN41 7RF

Proposal: Erection of two dwellings with dormers to front and rear and the installation of rooflights, new access and driveway, parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mr Arrron Dillon

Address: Lilac cottage Rowan drive Healing

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: We are objecting to this proposal as first of all the plans were for 2 bungalows not 3. We are concerned about the emergency services access to our property. Also the drainage. We are concerned about the parking as already we cannot park down Rowan drive as it is and we live there. The traffic and Parking down there is already busy without having 3 more properties down there.

Comments for Planning Application DM/0312/16/FUL

Application Summary

Application Number: DM/0312/16/FUL

Address: Fairview Rowan Drive Healing North East Lincolnshire DN41 7RF

Proposal: Erection of two dwellings with the installation of rooflights, new access and driveway, parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mr Thomas Horne

Address: 3 Rowan Drive Healing Grimsby

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I have no issues with the first set of plans drawn up to demolish the original property, and construct two new properties in its place.

However my main concern is the increased traffic down Rowan Drive, Which is a private and narrow lane maintained by current residents. The increase in excessive traffic would further reduced state of the current road and create parking issues for the local residents.

This also includes construction traffic which heavily impacts the roads condition, and also the issues of Vans and trucks using local residents driveways to turnaround in.

Comments for Planning Application DM/0312/16/FUL

Application Summary

Application Number: DM/0312/16/FUL

Address: Fairview Rowan Drive Healing North East Lincolnshire DN41 7RF

Proposal: Erection of two dwellings with the installation of rooflights, new access and driveway, parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mr Michael Wesley

Address: 4 rowan drive Pasadena, Rowan Drive Grimsby

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: We had no objections to two properties on this plot, however we do object to three as we see this as over development and not in keeping with the surrounding area.

We also have concerns regarding the extra traffic that could be permitted to use Rowan Drive.

Earlier planning permission was refused when the developer wanted to provide parking for the two houses down the cutting that only have pedestrian access. We heard at the weekend that the developer had suggested to the occupants of one of these houses that if they did not object he would allow them an area for parking for two vehicles.

We had no objections to two bungalows and two vehicles per property. We do however strongly object to more than four additional vehicles being allowed to use Rowan Drive.

Comments for Planning Application DM/0312/16/FUL

Application Summary

Application Number: DM/0312/16/FUL

Address: Fairview Rowan Drive Healing North East Lincolnshire DN41 7RF

Proposal: Erection of two dwellings with dormers to front and rear and the installation of rooflights, new access and driveway, parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mr Michael wesley

Address: 4 rowan drive healing grimsby

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Our understanding is that original planning was granted to demolish the old bungalow and for 2 detached dwellings with garages and a limit of two vehicles per property. In building an extension to the old bungalow it is clear the developer is not going to demolish it and therefore has breached planning permission. The developer now intends to have 3 properties on the plot and we feel that this is too intense and not in keeping with area.

We also have concerns with the amount of traffic up and down Rowan Drive and would like the council to stick to the original 4 vehicles max to the plot and therefore allow only one further dwelling to the original bungalow.

We would also like to remind the council that Rowan Drive is a private road and the upkeep of it is the responsibility of the residents. Are we expected to pay for damage to the road surface from construction traffic or can a condition of planning be that the developer is required to contribute.

Comments for Planning Application DM/0312/16/FUL

Application Summary

Application Number: DM/0312/16/FUL

Address: Fairview Rowan Drive Healing North East Lincolnshire DN41 7RF

Proposal: Erection of two dwellings with the installation of rooflights, new access and driveway, parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mr Ian Mitcheson

Address: 5, Rowan Drive, Healing, GRIMSBY

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: First of all I would like to state that the original plan to demolish 'FAIRVIEW' and erect two new properties on the plot seemed a reasonable use of the plot given its size and position. I would like to strongly object to any development of the site which does not include demolition of 'FAIRVIEW'. Its position, if it remains, would give an extremely limited, difficult, and impractical access to the proposed two further properties to be built.

Whilst I understand that it is not relevant to the planning application I fail to see how consideration can be given to the development of the site without discussion on access for the future residents, the developers and for Builders merchant's vehicles travelling down a private road without permission from the owners, i.e. the current residents of Rowan Drive. There are already two properties at the end of Rowan Drive which have no vehicular right of access, only pedestrian. The plans state that there will be two vehicles allowed for each new property.... how do they intend to get them to their property?

I would have thought that this was something that MUST be addressed before ANY development of the site, as is an agreement regarding the future maintenance of Rowan Drive if the current owners allow access to the new properties.

Comments for Planning Application DM/0312/16/FUL

Application Summary

Application Number: DM/0312/16/FUL

Address: Fairview Rowan Drive Healing North East Lincolnshire DN41 7RF

Proposal: Erection of two dwellings with the installation of rooflights, new access and driveway, parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mr Paul Smith

Address: 9 ROWAN DRIVE GRIMSBY

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Changing the Dormers to roof lights, does not deter from the fact that the proposal will still be 3 properties, on a plot that was originally one house. Therefore still creating over development of the plot. The amendment to the plans will not reduce the traffic flow to the already inadequate road.

There is also no provision in the plans for up keep of the road by the owners, as the road is maintained by the residents of Rowan Drive. There are pedestrian safety issues as there is no footpath. The Road is only made wider due to the Private frontage of 3 of the house on Rowan Drive and is not access to all.

I have also been informed that one of the houses behind the proposed development who only has walking access to Rowan Drive has been offered vehicular access and parking on the site after development. This is not set out on the planning application. This would create access and parking to at least 4 properties and at least another 8 vehicles, which is totally unacceptable.

I would just like point out that the Notice of decision for the original application DC/617/12/WOL that was accepted on 20/08/12 had a condition as below.

Condition

At no point in time shall vehicular access be provided on or over the site to the residential properties named Lilac Cottage or Pintail Cottage, also at no point in time shall pedestrian or vehicular access be provided through the site to Carlton Avenue without prior consent from the Local Planning Authority. Reason To preserve the character of Rowan, protect highway and

pedestrian safety and to accord with saved Policy GEN1 of the North East Lincolnshire Local Plan 2003.

So I hope this condition will still apply as above.

Comments for Planning Application DM/0312/16/FUL

Application Summary

Application Number: DM/0312/16/FUL

Address: Fairview Rowan Drive Healing North East Lincolnshire DN41 7RF

Proposal: Erection of two dwellings with dormers to front and rear and the installation of rooflights, new access and driveway, parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mr Paul Smith

Address: 9 ROWAN DRIVE GRIMSBY

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: In 2012 plans were submitted, revised and then accepted to demolish the existing bungalow and build 2 detached bungalows on the plot. The original house has not been demolished but extended and now the proposed development would add a further 2 dormer bungalow properties to Rowan Drive with access. The increased traffic flow would impact adversely on highway and pedestrian safety, create an excessive number of properties on an already inadequate, narrow, private, unadopted road.

The access to the proposed development site is over Rowan drive which is totally unsuitable to accommodate construction traffic and site deliveries. The site makes no provision for construction traffic. The development will cause a lengthy, considerable nuisance and disturbance to the residents of Rowan Drive and the amenities presently enjoyed by them.

We feel the original application was acceptable but the current application intensifies the plot and increases the highway traffic to beyond its limits.

Comments for Planning Application DM/0312/16/FUL

Application Summary

Application Number: DM/0312/16/FUL

Address: Fairview Rowan Drive Healing North East Lincolnshire DN41 7RF

Proposal: Erection of two dwellings with dormers to front and rear and the installation of rooflights, new access and driveway, parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mrs sarah hartshorn

Address: picardy rowan drive healing

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Picardy objections continued

MAINTANANCE / INCREASED USAGE OF ROWAN DRIVE

The extra traffic on rowan drive to the Fairview plot will have a detrimental effect on Rowan Drive. Currently the residents of Rowan Drive have to pay for the upkeep of the surface and structure of Rowan Drive out of their own pockets.

Would the new occupants of Fairview and the proposed properties be legally bound to contribute to the upkeep and maintenance of Rowan Drive.

The highways department have no comments - are they aware of the maintenance costs to the residents or are they going to pay for the upkeep and maintenance of the road in the future as to allow this to be passed would be increasing the costs to residents for the increased wear and tear on the road and more frequent repairs. Have they been out and actually tried to enter the plot with anything bigger than a car. Are they concerned with deterioration of the road due to increased traffic and safety to pedestrians when using the road due to deterioration to road from lorries and extra vehicles. Rowan Drive is not designed or structurally built to take even more vehicles.

The road has already showed signs of deterioration from extra traffic and delivery lorries in the past months and existing residents have had to pay for materials to fill the potholes as the road was virtually impassable to pedestrians and bikes, due to flooding in the potholes from rainwater. What will happen when in peak periods cars entering from Poplar Road onto Rowan Drive meet in the middle with cars exiting Rowan Drive there is no passing place - this will cause cars to have to make an illegal manoeuvre reversing onto Poplar Road a main road with poor view and cars parked either side of Rowan Drive - road safety concern.

DELIVERIES / CONSTRUCTION TRAFFIC

There have been issues with large vehicles not being able to enter Fairview - how will removal lorries/vans/construction and delivery lorries enter the site to facilitate the needs of the new

properties being built and occupied. With the new wall in front of fairview property and up to the entrance this will make it impossible for anything bigger than a car entering the site .we feel our privacy and the lack of access would be permanently lost due to parking across our driveway .we have a downstairs bedroom and living room and our privacy would be lost.

Concerns on answers on application form

Q6 - pedestrian/vehicle access roads and right of way the applicant has answered no.

There is an altered access as more vehicles will be using the entrance.and altered increased pedestrian access to the new properties.there will be a new public right of wayfor new residents and visitors.the proposals do requirte new extinguishments/creation of right of way.

Q12 the applicant states there is no increase to flood risk we feel this is untrue as our front garden has flooded at the front since the partial removal of Fairview boundary wall at the entrance And were the drainage will be fed into.

Q14 the existing site is vacant as it the back garden plot to Fairview that is being sold off Fairview is not lived in at the moment and undergoing renovation .It has not been occupied for at least 7 years.

Q15 Trees and hedges- are there any trees and hedges adjacent to the site- the applicant has answered no - a large 30 to 40 ft tree is situated at the entrance of Fairview/Picardy/ rowan drive and boundary of lucas court property.the extra vehicles using the entrance would be driving over the roots and undermining the integrity and structure of the tree - which could cause the tree to become unsafe or fall onto properties causing damage to property and life.

The drawings on the map are incorrect/not to scale and do not show current buildings correctly on adjacent plots

The submitted pans are vague with the boundary walls not showing were they are to be retained AND AT WHAT HEIGHT .

IN Conclusion this development will have a detrimental effect on our every day lives with the increase in noise /traffic/light intrusion from headlights, stress and safety issues for pedestrians /loss of privacy and increased maintance costs.

To allow this application to be passed will remove the quiet peaceful lifestyle we have acheivie since purchasing the property 19 years ago

There are plenty of houses being built on the land between healing and stallingborough why over develop small back garden plots down single track roads that will be out of keeping to the area.

I have sent pictures via E-mail to back up some issues

Pedersen, Carol

From: antony.hartshorn
Sent: 09 June 2016 07:58
To: Pedersen, Carol
Subject: Fair view rowan drive.pictures submitted
Attachments: 20160430_103043.jpg; 20160428_170208.jpg; 20160408_152335.jpg; 20160205_124329.jpg; 20160408_084121.jpg; 20150926_113826.jpg; 20160407_120728.jpg; 20160407_120713.jpg; 20151219_155338.jpg; 20160205_145259.jpg

Parking/delivery issues on rowan drive in front of picardy and fair view entrance

Some lorries cannot get down rowan drive and offload goods at poplar road entrance exit

Above you can just make out the white post /wall that has been knocked down to widen entrance this removes a physical barrier between walkway between that is between fair view and picardy boundary. Below removal of post and wall on fair view plot to widen entrance.this was not on original plans to remove wall ,which is a physical barrier between walkway.this will mean cars will come up to picardy boundary wall when exiting fair view. There is no footpath on rowan drive .so compromising pedestrian and vehicle safety when exiting picardy

Picture of narrow road With entrance to picardy in forefront and entrance to fair view behind.We have to drive up to tree to reverse into driveway as road to narrow to turn /drive car into drive.

K.r Sarah hartshorn

Sent from my Samsung Galaxy smartphone.



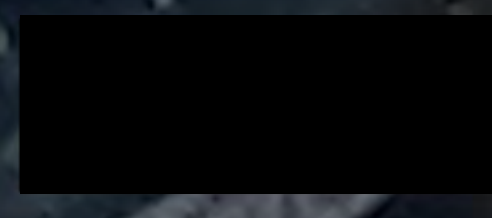






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Comments for Planning Application DM/0312/16/FUL

Application Summary

Application Number: DM/0312/16/FUL

Address: Fairview Rowan Drive Healing North East Lincolnshire DN41 7RF

Proposal: Erection of two dwellings with dormers to front and rear and the installation of rooflights, new access and driveway, parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mrs sarah hartshorn

Address: picardy 11 rowan drive healing

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Picardy objections continued

MAINTANANCE / INCREASED USAGE OF ROWAN DRIVE

The extra traffic on rowan drive to the Fairview plot will have a detrimental effect on Rowan Drive. Currently the residents of Rowan Drive have to pay for the upkeep of the surface and structure of Rowan Drive out of their own pockets.

Would the new occupants of Fairview and the proposed properties be legally bound to contribute to the up-keep and maintenance of Rowan Drive?

The highways department have no comments - are they aware of the maintenance costs to the residents or are they going to pay for the upkeep and maintenance of the road in the future as to allow this to be passed would be increasing the costs to residents for the increased wear and tear on the road and more frequent repairs. Have they been out and actually tried to enter the plot with anything bigger than a car. Are they concerned with deterioration of the road due to increased traffic and safety to pedestrians when using the road due to deterioration to road from Lorries and extra vehicles. Rowan Drive is not designed or structurally built to take even more vehicles?

The road has already showed signs of deterioration from extra traffic and delivery lorries in the past months and existing residents have had to pay for materials to fill the potholes as the road was virtually impassable to pedestrians and bikes, due to flooding in the potholes from Rainwater.

DELIVERIES / CONSTRUCTION TRAFFIC

There have been issues with large vehicles not being able to enter Fairview - how will removal lorries/vans/construction and delivery Lorries enter the site to facilitate the needs of the new properties being built and occupied. With the new wall in front of Fairview property and up to the entrance this will make it impossible for anything bigger than a car entering the site. We feel our privacy and the lack of access would be permanently lost due to parking across our driveway. We have a downstairs bedroom and living room and our privacy would be lost.

Picardy also has a frontage closer to the road than the other houses down Rowan Drive so is more susceptible to noise from vehicles

Concerns on answers on application form

Q6 - pedestrian/vehicle access roads and right of way the applicant has answered no.

There is an altered access as more vehicles will be using the entrance. And altered increased pedestrian access to the new properties.

Answer :There will be a new public right of way for new residents and visitors the proposals do require new extinguishments/creation of right of way.and the applicant has altered the entrance and walkway area to hazel bow passageway.i would also like to note that Picardy boundary wall is set a foot closer to our house than it should be and we reserve the right to put it a foot forward making the road from Picardy to fairview narrower

Q12 the applicant states there is no increase to flood risk we feel this is untrue as our front garden has flooded at the front since the partial removal of Fairview boundary wall at the entrance And were the drainage will be fed into.

Q14 the existing site is vacant as it the back garden plot to Fairview that is being sold off Fairview is not lived in at the moment and undergoing renovation .It has not been occupied for at least 7 years.

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The drawings on the map are incorrect/not to scale and do not show current buildings correctly on adjacent plots.

The submitted plans are vague with the boundary walls not showing were they are to be retained AND AT WHAT HEIGHT.

IN Conclusion this development will have a detrimental effect on our everyday lives with the increase in noise /traffic/light intrusion from headlights, stress and safety issues for pedestrians /loss of privacy and increased maintenance costs.there will also

To allow this application to be passed will remove the quiet peaceful lifestyle we have achieve since purchasing the property 19 years ago

There are plenty of houses being built on the land between healing and Stallingborough, why over develop small back garden plots down single track roads that will be out of keeping to the area.

I have sent pictures via E-mail to back up some issues

I would also like to say that I intended to raise an objection - as with previous applications for this plot- with healing village councillors but they did not list this planning application in their april meeting so i could not raise my objections .it was only when I read on the planning website that they had submitted their comments on the 16th ap

Comments for Planning Application DM/0312/16/FUL

Application Summary

Application Number: DM/0312/16/FUL

Address: Fairview Rowan Drive Healing North East Lincolnshire DN41 7RF

Proposal: Erection of two dwellings with dormers to front and rear and the installation of rooflights, new access and driveway, parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mr tony hartshorn

Address: picardy 11 rowan drive healing

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:our further observations are

DRAINAGE

foul sewerage - the application states

connection to existing mains drainage at end of rowan drive

a detailed plan/map of where the mains drainage is to be connected too is needed to clarify where the drainage will be connected too

the new sewerage mains need to be new and completely separate from Picardy sewerage as the existing foul sewerage pipes are not adequate or designed /large enough to cope with any extra usage.

this is to stop any blockages ,flooding or foul contamination to Picardy land and habitated home as the sewerage pipes are on our land and under habitable rooms.

REFUSE BINS

WHERE WILL BINS FROM NEW PEOPERTIES BE PLACED FOR COLLECTION ON REFUSE PICK UP DAYS AS THE REFUSE TRUCKS ARE TOO WIDE FOR FAIRVIEW ENTRANCE .

if THE BINS ARE TO BE PLACED AT THE ENTRANCE TO FAIRVIEW THIS WILL BE ANOTHER OBSTRUCTION TO TRAFFIC AND PEDESTRIANS .

THERE ARE CURRENTLY 4 TO 8 BINS AND RECYLING BINS FROM 4 PROPERTIES PLACED ALONG THE HEDGE /ENTRANCE OF FAIRVIEW CAUSING NARROWING OF THE ROAD .

IF THERE ARE ANOTHER 2 TO 4 BINS AND REYCLING BINS WERE WILL THEY BE PLACED

WE WOULD NOT LIKE OUR FRONTAGE TO BECOME A SMELLING UNTIDY HEALTH HAZARD OR REFUSE STORAGE AREA . OR A CAUSE OF CONFLICT BETWEEN

NEIGHBOURS IF THEY ARE LEFT THERE BLOCKING THE ROAD AND ACCESS TO PICARDY DRIVEWAY AFTER THEY HAVE BEEN EMPTIED.

1 OF 3 PAGES DUE TO WEBSITE TIMING OUT

Comments for Planning Application DM/0312/16/FUL

2

Application Summary

Application Number: DM/0312/16/FUL

Address: Fairview Rowan Drive Healing North East Lincolnshire DN41 7RF

Proposal: Erection of two dwellings with dormers to front and rear and the installation of rooflights, new access and driveway, parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mr tony hartshorn

Address: picardy 11 Rowan Drive Healing

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment:we object to the following application

our observations are

highway access to the plot

Rowan Drive is a single track unadopted road which narrows significantly at Picardy frontage the access into Fairview is very narrow and awkward.

presently vehicles have trouble turning/entering the site entrance

as per previous objections to the access issue this has been proven to be right with our boundary wall being compromised by vehicles trying to enter Fairview plot and has had to be rebuilt due to structure of wall being compromised.

vehicles entering Fairview plot currently reverse down rowan drive to the plot or use driveways to turnaround in - this is a big safety issue for pedestrians

there is a pedestrian walkway to Hazelbow and pintail cottage and 59 station road between Fairview and Picardy boundaries-which is not indicated on the submitted drawings.

the wall along this walkway has been partially removed at the entrance to Fairview -presumably to widen the entrance .on the plans there is a wall to protect the pedestrians and the boundary wall of Picardy -is this going to be replaced as there are safety concerns with our wall already being compromised.

currently people are parking in front of Picardy and Fairview access points when making deliveries and visitors/tradesmen this is causing conflict undue distress when we cannot get into our driveway .the road in front of Picardy and Fairview is used as a reversing point to reverse into several driveways and the narrow awkward visual view when exiting Fairview plot would cause concern to a potential accident /impact point from vehicles when entering rowan drive

further comments on separate submission as website keeps timing out.

Pedersen, Carol

From: antony.hartshorn
Sent: 09 June 2016 08:0
To: Pedersen, Carol
Subject: Fair view objection rowan drive healing
Attachments: 20160205_124555.jpg; 20160205_125426.jpg; 20151219_155354.jpg; 20160205_145212.jpg; 20160407_134003.jpg

Picture of wall before being compromised

Picture of wall after being structurely

compromised .last picture showing trackmarks of lorry and cracking to walkway and how close to car on picardy driveway cars and lorries will exit fairview.The entrance to fair view will be too narrow and unsafe Please may I ask for confirmation via e.mail of receipt.

K.r Sarah hartshorn

Sent from my Samsung Galaxy smartphone.











Pedersen, Carol

From: antony.hartshorn
Sent: 04 July 2016 21:02
To: Pedersen, Carol
Cc: antony.hartshorn@
Subject: Fair view planning objection
Attachments: 20160704_205554_resized.jpg; 20160704_205624_resized.jpg; 20160704_205537_resized.jpg; 20160704_205506_resized.jpg

Good evening Carol,

May I ask if this video and pictures (taken over several days) of flooding from rainfall flowing from fairview into picardy front garden/driveway be submitted to the planning committee ,highways and drainage departments for proof as when we contacted them saying could they revisit to see our concerns about the removal of the boundary wall and the impact this was having on flooding ,they refused and said they had made their comments.it is our belief that if further intensification of the plot and the construction of a driveway to the proposed two extra properties go ahead this will cause the flooding and erosion of our driveway and rowan drive to increase and cause extra damage.

There were no problems with flooding prior to the wall being removed

Kind regards

Mr and Mrs Hartshorn

Ipicardy

Sent from my Samsung Galaxy smartphone.









Bywater, Andrea

From: HARTSHORN ANTONY
Sent: 27 July 2016 13:29
To: PT - Internet Generated E-mails; antony.hartshorn
Subject: planning ref DM/0312/16/FUL - submission of objection from picardy rowan drive healing -mr and mrs hartshorn -planning portal not accepting objections
Attachments: planning objections page no4..odt; planning objection page no1.odt; planning objection 23.5.2016 no 2.odt; planning objection page no3.odt

Dear Sir/ madam,

please submit the following attachments 1 to 4 for submission as an objection to Fairview planning application

ref number DM/0312/16/FUL

the planning portal would not accept or allow any comments before or on the date of the letter so I have had to submit our objections by E-mail

the brief outline of our objections are

- access to the plot is limited and a health and safety concern -cars cannot visually see onto rowan drive when exiting plot and too near to Picardy driveway
- highways - road and accessibility/increased usage the road is in a poor state of repair and is a single track road with no where for vehicles to pass ,I have had to reverse out of rowan drive when there was a vehicle coming down and would not give way and due to poor visibility when exiting had my car badly damaged.
- over intensification of plot - the plot which is half of Fairview's original back garden will be over intensified with two dwellings
- noise and loss of privacy -the increase in vehicles will increase noise and overlooking of our property when turning into the plot
- boundary - Picardy boundary is being re-established 2 to 3 foot .The road is narrower in front of Picardy .This will give us concern of how vehicles will enter the site without causing damage
- flooding - the boundary wall with Fairview and the walkway between Picardy has been removed and has caused excessive flooding to our front garden .
- the new block plan shows at the entrance to the plot there is an existing hedge - the black line then shows a step back making the road seem wider in that area. This is incorrect and the boundary should follow the black line and not have a step back there is also a tree approx. 30 to 40 foot tall in the corner of this entrance with cars and heavy plant lorries going over this daily ,this will weaken the
- bonfires - there are almost daily bonfires of building waste brought onto the site from the current occupier of Fairview these happen between the hours of 10a.m and 4p.m and is a health hazard to our health.
- Rowan drive - highways department has no objections may I ask why the decision has changed from previous applications where they objected and the road is now in a worse state and virtually impassable by foot in the winter due to flooding and deterioration of the road surface .the access to the plot is very limited and awkward
- refuse collection there is nowhere in plans to locate bins on refuse collection days and bins are usually left blocking Picardy access and access to Fairview where will the extra bins go.

could you please confirm receipt of this E-mail for submission

kind regards

2

Mr and Mrs Hartshorn

Picardy

rowan drive

Healing

these are a brief outline of our concerns and wish for the full attachments to be read to understand our concerns

Objects to the Planning Application

Comment Reasons:

Our observations are

Highway access to the plot

Rowan Drive is a single track adopted road which narrows significantly at Picardy frontage

The access into Fairview is very narrow and awkward.

Presently vehicles have trouble turning/entering the site entrance

As per previous objections to the access issue this has been proven to be right with our boundary

Wall being compromised by vehicles trying to enter Fairview plot and has had to be rebuilt due to

Structure of wall being compromised.

Vehicles entering Fairview plot currently reverse down rowan drive to the plot or use driveways to

Turnaround in - this is a big safety issue for pedestrians

There is a pedestrian walkway to Hazelbow and pintail cottage and 59 station road between

Fairview and Picardy boundaries-which is not indicated on the submitted drawings.

The wall along this walkway has been partially removed at the entrance to Fairview -presumably to

Widen the entrance .on the plans there is a wall to protect the pedestrians and the boundary wall of

Picardy -is this going to be replaced as there are safety concerns with our wall already being

Compromised.

Currently people are parking in front of Picardy and Fairview access points when making deliveries

And visitors/tradesmen this is causing conflict undue distress when we cannot get into our

Driveway .the road in front of Picardy and Fairview is used as a reversing point to reverse into

Several driveways and the narrow awkward visual view when exiting Fairview plot would cause

Concern to a potential accident /impact point from vehicles when entering rowan drive

1 of 4 pages

Comment:our further observations and objections are

DRAINAGE

foul sewerage - the application states

connection to existing mains drainage at end of rowan drive

a detailed plan/map of where the mains drainage is to be connected too is needed to clarify where the drainage will be connected too

the new sewerage mains need to be new and completely separate from Picardy sewerage as the existing foul sewerage pipes are not adequate or designed /large enough to cope with any extra usage.

this is to stop any blockages ,flooding or foul contamination to Picardy land and habitated home as the sewerage pipes are on our land and under habitable rooms.

REFUSE BINS

on refuse days

where will bins from new properties be placed for collection pick up days as the refuse trucks are too wide for Fairview entrance .

if the bins are to be placed at the entrance to Fairview this will be another obstruction to traffic and pedestrians .

there are currently 4 to 8 bins and recycling bins from 4 properties placed along the hedge /entrance of Fairview causing narrowing of the road .

if there are another 2 to 4 bins and recycling bins where will they be placed

We would not like our frontage to become a smelling untidy health

Hazard or refuse storage area . or a cause of conflict between

neighbours if they are left there blocking the road and access to

Picardy driveway after they have been emptied.

1 of 2 pages

Comment: Picardy objections continued

MAINTANANCE / INCREASED USAGE OF ROWAN DRIVE

The extra traffic on rowan drive to the Fairview plot will have a detrimental effect on Rowan Drive

Currently the residents of Rowan Drive have to pay for the upkeep of the surface and structure of Rowan Drive out of their own pockets

Would the new occupants of Fairview and the proposed properties be legally bound to contribute to the upkeep and maintenance of Rowan Drive?

The highways department have no comments - are they aware of the maintenance costs to the residents or are they going to pay for the upkeep and maintenance of the road in the future as to allow this to be passed would be increasing the costs to residents for the increased wear and tear

On the road and more frequent repairs .have they been out and actually tried to enter the plot with anything bigger than a 4 x 4. Are they concerned with deterioration of the road due to increased traffic and safety to pedestrians when using the road due to deterioration to road from Lorries and extra vehicles?

Rowan Drive is not designed or structurally built to take even more vehicles?

The road has already showed signs of deterioration from extra traffic and delivery lorries in the past months and existing residents have had to pay for materials to fill the potholes as the road was virtually impassable to pedestrians and bikes ,due to flooding in the potholes from Rainwater.

What will happen when in peak periods cars entering from poplar road onto rowan drive meet in the middle with cars exiting rowan drive there is no passing place - this will cause cars to have to make an illegal manoeuvre reversing onto poplar road a main road with poor view and cars parked either side of rowan drive - road safety concern.

Vechular access to pintail and hazelbow via Fairview

It has been brought to our attention that the owner of Fairview is possibly intending to give vechular access to the aforementioned properties via Fairview entrance .in the original planning application this was refused and said that no further access rights should be given on any further applications for Fairview due to the condition of the road and the limited access and 300% increase in traffic .we are just stating what the highways and planning departments have stated and wish for this condition to be kept and actioned on any further planning application.

DELIVERIES /CONSTRUCTION TRAFFIC

There have been issues with large vehicles not been able to enter Fairview - how will removal lorries/vans/construction and delivery Lorries enters the site to facilitate the needs of the new properties being built and occupied. With the new wall in front of Fairview property and up to the entrance this will make it impossible for anything bigger than a car entering the site .we feel our privacy and the lack of access would be permanently lost due to parking across our driveway .we have a downstairs bedroom and living room and our privacy would be lost.

Concerns on answers on application form

Q6 - pedestrian/vehicle access roads and right of way the applicant has answered no.

There is an altered access as more vehicles will be using the entrance. And altered increased

Pedestrian access to the new properties. There will be a new public right of way for new residents and visitors the proposals do require new extinguishments/creation of right of way.

Q12 the applicant states there is no increase to flood risk we feel this is untrue as our front garden has flooded at the front since the partial removal of Fairview boundary wall at the entrance And were the drainage will be fed into.

Q14 the existing site is vacant as it the back garden plot to Fairview that is being sold off Fairview

Is not lived in at the moment and undergoing renovation .It has not been occupied for at least 7 years

Q15 Trees and hedges- are there any trees and hedges adjacent to the site- the applicant has answered no - a large 30 to 40 ft. tree is situated at the entrance of Fairview/Picardy/ rowan drive

And boundary of Lucas court property. The extra vehicles using the entrance would be driving over

The roots and undermining the integrity and structure of the tree - which could cause the tree to become unsafe or fall onto properties causing damage to property and life.

The drawings on the map are incorrect/not to scale and do not show current buildings correctly on adjacent plots

The submitted plans are vague with the boundary walls not showing were they are to be retained

AND AT WHAT HEIGHT.

IN Conclusion this development will have a detrimental effect on our everyday lives with the

Increase in noise /traffic/light intrusion from headlights, stress and safety issues for pedestrians

/loss of privacy and increased maintained costs.

To allow this application to be passed will remove the quiet peaceful lifestyle we have achieved since purchasing the property 19 years ago

There are plenty of houses being built on the land between healing and stallingborough why over develop small back garden plots down single track roads that will be out of keeping to the area.

3 of 4 pages

MAINTANANCE / INCREASED USAGE OF ROWAN DRIVE .The extra traffic on rowan drive to the Fairview plot will have a detrimental effect on Rowan Drive.

Currently the residents of Rowan Drive have to pay for the upkeep of the surface and structure of Rowan Drive out of their own pockets

Would the new occupants of Fairview and the proposed properties be legally bound to contribute to the upkeep and maintenance of Rowan Drive?

The highways department have no comments – are they aware of the maintenance costs to the residents **or are they going to pay for the upkeep and maintenance of the road in the future as to allow this to be passed would be increasing the costs to residents for the increased wear and tear on the road and more frequent repairs** .have they been out and actually tried to enter the plot with anything bigger than a car. Are they concerned with deterioration of the road due to increased traffic and safety to pedestrians when using the road due to deterioration to road from Lorries and extra vehicles .Rowan Drive is not designed or structurally built to take even more vehicles? The road has already showed signs of deterioration from extra traffic and delivery lorries in the past months and existing residents have had to pay for materials to fill the potholes as the road was virtually impassable to pedestrians and bikes, due to flooding in the potholes from Rainwater .the high ways department have previously in their reports refused applications due to the above issues

DELIVERIES /CONSTRUCTION TRAFFIC there have been issues with large vehicles not been able to enter Fairview – how will removal lorries/vans/construction and delivery Lorries enter the site to facilitate the needs of the new properties being built and occupied. With the new wall in front of Fairview property and up to the entrance this will make it impossible for anything bigger than a car entering the site .we feel our privacy and the lack of access would be permanently lost due to parking across our driveway .we have a downstairs bedroom and living room and our privacy would be lost.

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Q14 the existing site is vacant as it the back garden plot to Fairview that is being sold off Fairview is not lived in at the moment and undergoing renovation .It has not been occupied for at least 7 years.

Q15 Trees and hedges- are there any trees and hedges adjacent to the site- the applicant has answered no – a large 30 to 40 Ft tree is situated at the entrance of Fairview/Picardy/ rowan drive and boundary of Lucas court property. The extra vehicles using the entrance would be driving over the roots and undermining the integrity and structure of the tree - which could cause the tree to become unsafe or fall onto properties causing damage to property and life. This has been hit twice by construction traffic trying to enter Fairview unsuccessfully

The drawings on the map are incorrect/ not to scale and do not show current buildings correctly on adjacent plots

The submitted plans are vague with the boundary walls not showing were they are to be retained AND AT WHAT HEIGHT on the boundary of pintail / Hazel bow and the pedestrian access along Picardy boundary .is this to provide access/parking places for hazel bow (now known as lilac cottage) and pintail in the future and thus increase traffic even more .Which we believe may be the case as one resident of these properties has commented that he is sorted with his access and parking. This was previously refused by the highways department. It would also be helpful to know if the pedestrian passage way is being kept as per passed planning for Fairview and garage .on the land register plans from 1995 it shows the passageway as a right of way for pedestrians.

In conclusion this development will have a detrimental effect on our everyday lives with the increase in noise /traffic/light intrusion from headlights, stress and safety issues for pedestrians /loss of privacy and increased maintenance costs.

To allow this application to be passed will remove the quiet peaceful lifestyle we have achieved since purchasing the property 19 years ago

There are plenty of houses being built on the land between Healing and Stalling borough why over develop small back garden plots down single track private roads that will be out of keeping to the area.

4 of 4

Comments for Planning Application DM/0312/16/FUL

Application Summary

Application Number: DM/0312/16/FUL

Address: Fairview Rowan Drive Healing North East Lincolnshire DN41 7RF

Proposal: Erection of two dwellings with dormers to front and rear and the installation of rooflights, new access and driveway, parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mr Ian Nesbitt

Address: 53 Station Road Healing Grimsby

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: We object to the application based on a number of factors.

First of all the addition of a potential (on average) 8 vehicle movements per day to what is an already very narrow lane will make it even less safe. Please also consider that there is no footpath along parts of this lane forcing people to walk on the road.

Secondly, having looked at the proximity of the proposed building to the edge of the plot, I do not see how this construction could go ahead without a strong risk of damage to a mature willow tree which forms a significant part of the view from our garden. This is contrary to the information submitted within the application.

Thirdly I am concerned about over intensification of the plot with the additional property being added to the previous plans and this is not in keeping with the character of the surrounding properties.

Comments for Planning Application DM/0312/16/FUL

Application Summary

Application Number: DM/0312/16/FUL

Address: Fairview Rowan Drive Healing North East Lincolnshire DN41 7RF

Proposal: Erection of two dwellings with the installation of rooflights, new access and driveway, parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mr andrew bradley

Address: 59 Station Road healing

Comment Details

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: We strongly object to the proposal for the following reasons;

The initial application for the whole plot was for just two houses, the redevelopment of the existing house and one additional dwelling. Work has started on the redevelopment of the existing property and now the application for the rest of the plot has been amended to two properties, we believe this is over-development/ over intensification.

We believe that the narrow and oddly shaped access to the property is a potential safety issue for houses/children nearby.

We believe that the proposal will affect our quality of life due to additional vehicular noise.

We believe that additional vehicular traffic as a result of the development will be detrimental to the condition of the road surface in Rowan Drive. This is already in a very poor state.

Additionally we are concerned about the increased risk of flooding to our property the development will potentially cause,

From: BRADLEY ANDREW >
Sent: 21 July 2016 21:02
To: PT - Internet Generated E-mails
Subject: DM/0312/16/FUL

hi

re the reference DM/0312/16/FUL

we are

Andrew and Elaine Bradley

59 station Road, Healing DN417LX

I have received a letter re this development stating that i could make a comment on this. i have been online and the site says that comments are closed and the consultation period id over.

This contradicts the letter we have received dated the 11th july from your office

We strongly object to the proposal for the following reasons;

The initial application for the whole plot was for just two houses, the redevelopment of the existing house and one additional dwelling. Work has started on the redevelopment of the existing property and now the application for the rest of the plot has been amended to two properties, we believe this is over-development/ over intensification. We believe that the narrow and oddly shaped access to the property is a potential safety issue for houses/children nearby. We believe that the proposal will affect our quality of life due to additional vehicular noise. We believe that additional vehicular traffic as a result of the development will be detrimental to the conditional of the road surface in Rowan Drive. This is already in a very poor state. Additionally we are concerned about the increased risk of flooding to our property the development will potentially cause,

please can you let me know the reason for comments being disabled on the website and additionally i would be grateful if you could acknowledge this email

thank you

Andrew and Elaine Bradley

PLANNING COMMITTEE - 14th September 2016

ITEM: 3

**RECOMMENDATION: Approval with
Conditions**

APPLICATION NO: DM/0322/16/FUL

APPLICATION TYPE: Full Application

**APPLICATION SITE: Land Off, Old Farm Road, Hatcliffe, North East
Lincolnshire,**

**PROPOSAL: Demolition of existing derelict pig sheds and erection of single storey
dwelling with associated parking and landscaping**

APPLICANT:

Ms Jane North
21 High Street
Osournby
Sleaford
NG34 0DN

AGENT:

Mr Richie Tutill
Jonathan Hendry Architects
10 Nickerson Way
Peacefields Business Park
Holton-le-Clay
DN36 5HS

DEPOSITED: 31st March 2016

ACCEPTED: 1st April 2016

TARGET DATE: 27th May 2016

PUBLICITY EXPIRY: 26th May 2016

AGREED EXTENSION OF TIME DATE:

19th August 2016

CONSULTATION EXPIRY: 29th April 2016 **CASE OFFICER: Ian Trowsdale**

PROPOSAL

The planning application seeks to demolish the existing derelict piggery buildings and replace the buildings with a single storey dwelling with associated parking and landscaping.

The proposed dwelling will sit on the footprint of the larger building towards the back of the site with the footprint of the smaller building proposed for stores, kennels and a garage with the concrete plinth that exists used for parking and access. The appearance of the dwelling resembles an agricultural building with an enclosed courtyard containing any domestic paraphernalia associated with a domestic property.

External materials are proposed as charred larch planks similar in colour to the charred remains of the existing materials. The roof is proposed to be finished in zinc. The front

facade of the dwelling is to be natural larch with a glazed entrance. The rooms to the southern side of the proposed dwelling are for communal use - snug, kitchen, dining and living rooms making the most of natural light and views whilst those on the northern side are to be bedrooms and bathrooms. These private rooms will look onto the restored orchard. The dwelling has 4 bedrooms.

The applicant has given a detailed assessment how the house will operate independently of traditional public utilities and make use of natural means of energy such as maximising solar power, using 'Tesla Powerwall' rechargeable lithium batteries to store solar energy and, use of a wood chip boiler.

The application has been called to Committee by the local member for the following reason:

'The applicant is planning to turn a disused piggery into a family home, whilst being sensitive to its location in open countryside. They have been made aware of the Environment Agency's concern but believe that they will be able to ameliorate this concern by the building methods they will use in the construction. I would like to refer this application to the Planning Committee as I believe it will be a sympathetic conversion which will be an asset to its surroundings and provide a long term family dwelling.'

It should be noted that following further investigations by the Environment Agency, the initial concerns by the Agency have been addressed following a further detailed appraisal of flood risk in the area. The Agency has withdrawn its objection.

The application is also a departure to policy in the North East Lincolnshire Local Plan 2003 and is recommended for approval.

SITE

The site is located outside the village of Hatcliffe on the eastern side of Low Road. Low Road is a single track road from the A18, Barton Street to the village. The site is located within the Lincolnshire Wolds Area of Outstanding Natural Beauty. Nearby are other isolated properties, notable, the Old Farmhouse, Stables and Old Barn. In general the area has a strong rural character with adjoining fields in arable production.

The site itself displaces a different character as a native woodland that surrounds a pond and extends back from Low Road by some 750m. At the front of the site running parallel to the road is an historic orchard that was originally planted in 1951. The orchard is now overgrown though the original trees remain and it is proposed to restore and replant new fruit trees as part of the proposal.

Alongside the existing buildings is a drain that runs through the valley to a small pool and fishing pond within the application site.

There are three existing buildings on site located towards the frontage and set back from the road by 15m. The buildings were formally used as a commercial piggery and are now derelict. A recent site inspection revealed that the buildings are suffering from vandalism and at some time one of the buildings has suffered from a fire with charring of the adjoining buildings. The buildings are constructed from a mixture of exposed concrete blocks, vertical timber boarding and sheeted roofing. They do not enhance the appearance and character of the area and are extremely unlikely to be ever brought back into any viable agricultural use.

RELEVANT PLANNING HISTORY

No planning history relating to the proposed development.

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

Government Guidance

Development Plan

Saved Policies

The National Planning Policy Framework (The Framework) provides the national overview of planning policy and gives a presumption in favour of approving sustainable development.

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that planning applications be determined in accordance with the development plan unless material considerations indicate otherwise.

Of particular relevance in the determination of this application, the proposed development needs to satisfy Paragraph 55 of the Framework which seeks to avoid new isolated homes in the countryside - unless there are special circumstances, such as the exceptional quality or innovative nature of the design of the dwelling, which should:-

- be truly outstanding or innovative, helping to raise standard of design more generally in rural areas;
- reflect the highest standards in architecture;
- significantly enhances its immediate setting; and
- be sensitive to the defining characteristics of the local area.

In addition, the Technical Guidance to the Framework provides advice to local planning authorities in respect of flood risk.

The site lies within the Lincolnshire Wolds Area of Outstanding Natural Beauty (AONB). Within the AONB, the statutory adopted Lincolnshire Wolds AONB Management Plan 2013-2018 seeks to inform and guide development management for the area. Two policies are specifically relevant to the application, one to protect and enhance local character and distinctiveness through the highest quality design in new development and re-development and secondly to encourage and support innovative new construction that uses local materials/design and takes inspiration from local distinctiveness and character.

Local planning policy is contained in the North East Lincolnshire Local Plan 2003. The site lies outside any defined settlement where saved Policy GEN2 applies. It should be noted that local plan policy makes no reference to exceptional quality or innovatively designed dwellings in the countryside. As the site lies within the Lincolnshire Wolds Area of Outstanding Natural Beauty, saved Policy NH8 also applies. This policy is framed so as to consider the merits of development proposals in the context of conserving the natural beauty of the area.

Paragraph 215 of the NPPF states that due weight should be given to policies in existing plans according to their consistency with the framework. Unless otherwise identified within the report, these policies are considered consistent with the framework and which have the presumption in favour of sustainable development.

REPRESENTATIONS RECEIVED

Highways Officer - recommends condition seeking details for the vehicular access, parking and manoeuvring space

Environment Team - recommends conditions to cover hours of construction/demolition and method statements to cover demolition and unidentified contamination.

Environment Agency - does not object - subject to agreed finished floor level of dwelling and mitigation measures. It is also noted that the flood risk model has been re-run with new LiDAR that has a better resolution so gives a more detailed picture of the ground. As can be seen in the current flood map, the extent is a little misaligned with the watercourse, whereas the new mapping extent shows it to be more where you would expect. This has resulted in majority of the site now being in flood zone 1.

Drainage Officer - overflow from the rainwater harvesting tank must go to a soakaway or infiltration trench rather than the pond. The land to the south falls towards the site of the proposed development so suitable measures should be installed to intercept overland water run off. The road adjacent to the development is prone to localised flooding so the applicant should contact the drainage team when planned works for the access so as to ensure this is not exacerbated.

Neighbours - Old Farmhouse; Old Barn and Wisteria all support the scheme as development would enhance the area and AONB. Environmental problems are referenced including fly tipping and vandalism.

APPRAISAL

The primary material considerations in this case are;

- 1) The principle of development on whether the proposed development meets the national tests applied in the Framework to be of exceptional quality or innovative design.
- 2) Whether the development is acceptable in flood risk terms.

1) Principle

With regard to principle the proposed development needs to satisfy Paragraph 55 of the Framework which seeks to avoid new isolated homes in the countryside - unless there are special circumstances, such as the exceptional quality or innovative nature of the design of the dwelling. To achieve this exceptional quality or innovative design, so that special circumstances are proven, the proposal should:-

- i. Be truly outstanding or innovative, helping to raise standards of design more generally in rural areas;
- ii. Reflective of the highest standards of architecture;
- iii. Significantly enhance its immediate setting, and be sensitive to the defining characteristics of the local area.

Each of these matters is assessed in turn below.

- i) Truly outstanding or innovative, helping to raise standards of design more generally in rural areas.

The application site is outside any defined settlement within the Lincolnshire Wolds Area of Outstanding Natural Beauty (AONB). The designation of AONB is the same as National Parks, the primary objective of which is the conservation of the natural beauty of the landscape. Local planning policy is framed so as to consider the merits of development proposals in the context of conserving the natural beauty of the area.

The applicant has submitted a proposal for a dwelling that does not look domestic in character but one that looks more agricultural in appearance that reflects characteristics of the existing buildings on the site. The development is single storey and nestles into the site on the edge of the adjoining field with existing trees beyond the site. All the domestic paraphernalia associated with the dwelling is to be enclosed within a walled courtyard. In addition, the external materials are chosen to mimic the existing materials with a roof over to appear agricultural in nature.

The design and appearance of the dwelling is modern and unusual. It clearly takes its cue from the existing derelict buildings and will assimilate into its setting. This approach is supported and would visually enhance the appearance of the area.

The proposal also seeks to provide a building with low energy requirement. The development will generate its own energy maximising how the energy is used throughout the year by the orientation and layout of rooms to make the most of solar gain and limiting the energy needs of the dwelling. The development includes photovoltaic panels on the roof. Whilst this approach is sustainable and to be applauded, it is not an approach, in itself, considered to be innovative.

However, the proposal is unusual in how it seeks to use separate elements of technology to store energy generated during daylight and thereafter make it available for use at other times. Heat generated through solar panels would be converted to electricity and stored in batteries. This optimises how solar energy is used and reduces overall dependence on power from the National Grid; which would normally be required at times when solar panels are unable to meet energy needs. The use of these components, to capture and store solar energy in a residential context is unusual and having regard to the pioneering way they are proposed to be used, is outstanding in terms of innovation. It is recommended should planning permission be granted a planning condition secures full details of the means of capturing and storing solar energy prior to the commencement of development and such technology is used during the lifetime of the dwelling.

ii) Reflect the highest standards in architecture.

The proposed dwelling would represent a contemporary piece of modern architecture. The Design and Access Statement submitted provides a detailed and thorough appraisal of the design process and how the dwelling has been laid out to make the best use of natural light and solar gain. In particular the applicant has not sought to submit a traditionally looking dwelling but submit an application for a building that assimilates into its landscape setting and not appear incongruous. The use of charred timber cladding and zinc over the shallow pitched roof adds greatly to the assimilation.

It is considered that the scheme has been well conceived and thought through in terms of its setting, composition and articulation of the architectural forms into a naturalist setting and reflecting the highest standard of architecture.

iii) Significantly enhance the immediate setting and defining the characteristics of the local area.

The proposed development will be sited where there are existing buildings that once formed part of a piggery. The piggery ceased some years ago. The buildings are now derelict and suffering from decay and vandalism. It is extremely unlikely that the piggery will ever be brought back into use meaning that undeveloped the existing buildings will remain an eyesore within the AONB. Representations from local residents refer to environmental problems associated with the site.

The applicant has set out how the proposed development takes its cue from the landscape characteristics of the site and surrounding area, taking account of the

landscape features including the pond and orchard saying that the proposed dwelling would sit very low to the ground taking the form of a modern approach to the buildings on site.

In addition, opportunities exist to improve the biodiversity of the site and restore the orchard that was planted in 1951 but no longer managed. The restoration of the orchard would create new habitats as well as a local source of fruit.

This rationale of approach to improving the immediate setting and desire to improve the bio-diversity locally as well to restore an historic orchard is supported.

2) Flood Risk

The National Planning Policy Framework sets strict tests to protect people and property from flooding and expects local planning authorities to follow the guidance by avoiding flood risk as far as reasonable possible by locating development where risks of flooding are lower.

Previously, the area of the site proposed for development was located in a Flood Zone 3 area, with a high probability of flooding (land having a 1 in 100 or greater annual probability of river flooding). However, following a detailed examination of the current topography of the site and a technical assessment carried out by the Environment Agency, the Agency has confirmed that the risk of flooding is lower than previously considered and has concluded that the proposed area of the site for the dwelling is at the lowest risk of flooding (less than 1 in 1000 annual probability of flooding), Flood Zone 1. There is part of the site which includes the access, proposed garages, storage and kennels that remains at risk (between 1 in 100 and 1 in 1000) Flood Zone 2 annual probability of flooding but not the highest risk of flooding as previously considered.

No objections are raised by the Environment Agency who acknowledge the new designation of the site in relation to flood risk and that a good proportion is now Flood Zone 1. However it remains the case that the frontage of the site is in Flood Zone 2 and therefore the sequential test needs to be considered. Although given the new position in respect of the flood risk on the site it is considered that it is much more of a marginal issue in terms of acceptability in terms of flood risk.

To this end it is accepted that the exceptional planning case for the residential development rests on all the criteria in the NPPF being addressed and in particular the environmental gains to the area through the redevelopment of a derelict site. This would not occur elsewhere. Moreover the more vulnerable part of the development, the dwelling itself, is sited outside in the lowest flood risk part of the site. Outbuildings would be sited in the area of the site at more risk. It is therefore considered that the sequential test is addressed. For the reasons already stated the exception test would also be passed. The applicant has provided details of the finished floor levels for the dwelling for completeness in addressing flood risk.

Given the present scenario, it is necessary to consider whether the wider sustainability benefits of removing the current eyesore within the AONB and putting the site to another use of high environmental and architectural merit outweighs the risk of flooding. In this case it is considered that it does.

CONCLUSION

In drawing together the main issues in considering the 'planning balance', it is necessary to consider advice in the National Planning Policy Framework. This sets out clear guidance for taking decisions on planning applications and stresses the need to approve development proposals that accord with development plans without delay, or where the development plan is absent, silent or relevant policies are out of date, granting permission. That is unless any adverse impacts in doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole, or where specific policies in the Framework indicate development should be restricted.

In this case, the consideration of the development, as assessed against saved Policy GEN2 of the Local Plan, only permits new buildings in the open countryside in certain circumstances, none of which applies here. However, Paragraph 55 of the Framework provides special circumstances for permitting new development with regard to exceptional quality or innovation.

Judgements on what constitutes good design is subjective by nature and is not simply a matter of whether one likes it or not. It is important to consider whether it has been carefully thought through including in terms of the quality of materials, a high level of sustainability and a good relationship between form and function.

On this point, it is considered that the exceptional quality and innovation of the proposed development and the environmental improvements would comply with all the four tests set out in Paragraph 55 of the Framework.

Flood risk is a further material consideration and it necessary to weigh the issues of flood risk against the wider architectural and environmental benefits to the AONB if the development was approved. In this regard it should be noted that the Environment Agency no longer objects to the application having reassessed the issue of flood risk on the site and concluding that the risks are now lower than previously considered. On balance, there are wider sustainability benefits in removing the current eyesore on site and developing the site with a dwelling that is considered to be of exceptional quality and innovation complying with the tests set out in Paragraph 55 of the Framework. The application is recommended for approval.

RECOMMENDATION

Approval with Conditions

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

A sample of all external materials to be used in the construction of the external surfaces of the dwelling shall be submitted to and approved in writing by the local planning authority. The development shall be completed using the approved materials.

Reason

In the interests of the visual amenity of the area in accordance with saved Policy NH8 of the North East Lincolnshire Local Plan 2003 and to accord to the National Planning Policy Framework.

(3) Condition

Notwithstanding the Town and Country Planning (General Permitted Development) Order 2015 (or any statutory amendment thereto), no development under Schedule 2 Part 1, Class A, B, C, D, E, F shall be permitted within the curtilage of the dwelling.

Reason

To protect the visual character of the area in accordance with saved Policy NH8 of the North East Lincolnshire Local Plan 2003 and advice in the National Planning Policy Framework.

(4) Condition

No development shall commence until full details of a landscape and habitat management plan and orchard restoration, to include timings of the proposed works, habitat creation and enhancements, orchard restoration and maintenance schedules of all landscaped areas have been submitted to and approved in writing by the local planning authority. The approved plan shall be carried out as agreed in writing by the local planning authority and all areas shall be so managed for the lifetime of the development.

Reason

In the interest of local amenity in accordance with saved Policy NH8 of the North East Lincolnshire Local Plan 2003 and advice in the National Planning Policy Framework.

(5) Condition

No development shall take place until full details of both hard and soft landscape works have been submitted to and approved in writing by the local planning authority and these works shall be carried out as approved. The submitted details shall include proposed finished levels or contours, any means of enclosure, hard surfacing materials, planting plans, specifications and schedules. All landscaping shall be carried out within 12 months of the commencement of development or within such longer time as agreed in writing by the local planning authority and all landscaping shall be adequately managed for a period of 10 years with all losses made good.

Reason

In the interests of local amenity in accordance with saved policy NH8 of the North East Lincolnshire Local Plan 2003 and advice in the National Planning Policy Framework.

(6) Condition

No trees/hedges on the site shall be wilfully damaged, cut-down, up-rooted, pruned felled or destroyed except those indicated on the Arboricultural Report, Tree Constraints Plan dated 30th October 2015 accompanying the application without the prior written consent of the Local Planning Authority and any trees/hedges on the site at the date of application (and which are shown for retention as part of any scheme approved in writing by the Local Planning Authority) shall, if they are removed or die, be replaced within 12 months by the planting of more live specimens in such numbers as may be approved in writing by the Local Planning Authority.

Reason

To preserve and ensure the continuity of existing landscape features in the interests of local amenity in accordance with saved Policy NH8 of the North East Lincolnshire Local Plan 2003.

(7) Condition

No development shall commence until full details of the photovoltaic panels, rechargeable lithium-ion batteries (Tesla Powerwall) and electrical inverter(s) to convert direct electricity from the solar panels, shall be submitted to and approved in writing by the local planning authority. The approved scheme shall be fully implemented prior to the dwelling being occupied and shall thereafter remain operational during the lifetime of the development.

Reason

In the interests of amenity in accordance with saved Policy NH8 of the North East Lincolnshire Local Plan 2003 and advice in the National Planning Policy Framework.

(8) Condition

No development shall commence until a scheme for the provision and implementation of foul drainage works has been approved in writing by the Local Planning Authority. Such scheme shall be completed prior to the occupation of the dwelling and maintained thereafter.

Reason

To prevent increased pollution of the water environment in accordance with saved Policy GEN8 and NH8 of the North East Lincolnshire Local Plan 2003.

(9) Condition

No development shall commence until a scheme for the provision of surface water drainage has been approved in writing by the Local Planning Authority. Such scheme shall be implemented before the dwelling is occupied and maintained thereafter.

Reason

To prevent an increased risk of flooding by ensuring the provision of a satisfactory means of surface water disposal in accordance with saved Policy NH8 of the North East Lincolnshire Local Plan 2003.

(10) Condition

The development shall be carried out in accordance with the approved Design and Access Statement (Rev 01, dated April 2016) and in particular the following mitigation measure:

- finished floor levels shall be set no lower than 33.50m AOD.

The mitigation measures shall be fully implemented prior to the occupation of the dwelling and retained at all times thereafter.

Reason

In the interests of residential amenity and in accordance with saved Policy NH8 of the North East Lincolnshire Local Plan 2003 and advice in the National Planning Policy Framework.

(11) Condition

No development shall commence until details showing the location, layout, design, method of construction and materials of the altered vehicular access, parking and manoeuvring space, including any necessary piping or culverting of any ditch or watercourse, have been submitted to and approved in writing by the local planning authority. The development shall be completed in accordance with the approved details and thereafter maintained.

Reason

To ensure adequate parking and turning facilities are provided within the site for highway safety reasons.

(12) Condition

Prior to the commencement of any demolition works a method statement outlining the method of demolition and measures to prevent contamination, nuisance from noise and dust emission as well as protecting nesting birds and bats shall be submitted in writing and approved by the local planning authority. Demolition shall only thereafter be

undertaken in accordance with the approved method statement. The submitted statement shall include measures to demonstrate that there is no contamination of the site following the demolition and clearance of the site.

Reason

In the interest of local amenity in accordance with saved Policy NH8 of the North East Lincolnshire Local Plan 2003 and advice in the National Planning Policy Framework.

(13) Condition

If, during development, contamination not previously considered is identified, the Local Planning Authority shall be notified immediately and no further work carried out until a method statement detailing a scheme for dealing with the suspect contamination has been submitted to and agreed in writing with the Local Planning Authority. Remediation shall be carried out in accordance with the details approved. If no contamination is found during the course of development, a written statement confirming it must be submitted to the Local Planning Authority upon completion of works.

Reason

To ensure any previously unconsidered contamination is dealt with appropriately in accordance with saved Policy NH8 of the North East Lincolnshire Local Plan 2003 and advice in the National Planning Policy Framework.

(14) Condition

The proposed development shall be carried out in accordance with the following approved plans and specifications:

Drawing No. EX 000 - Existing Layout Plan,
Drawing No. EX 001_00 - Existing Site Plan,
Drawing No. EX 201 - Existing Site Sections,
Drawing No. GA 000 - Proposed Site Location Plan,
Drawing No. GA 101 - Proposed Elevations,
Drawing No. GA 102 - Proposed Elevations,
Drawing No. GA 001_01 - Proposed Roof Plan,
Drawing No. GA 001_01 - Tree Overlay,
Drawing No. GA 002_01 - Proposed Site Plan,
Drawing No. GA 003 - Proposed Ground Floor Plan.

Reason

In the interests of proper planning and the avoidance of doubt.

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan 2003 in the first instance and the National Planning Policy Framework. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2003 and in particular saved Policy GEN2 - Development in the Open Countryside and saved Policy NH8 - Area of Outstanding Natural Beauty.

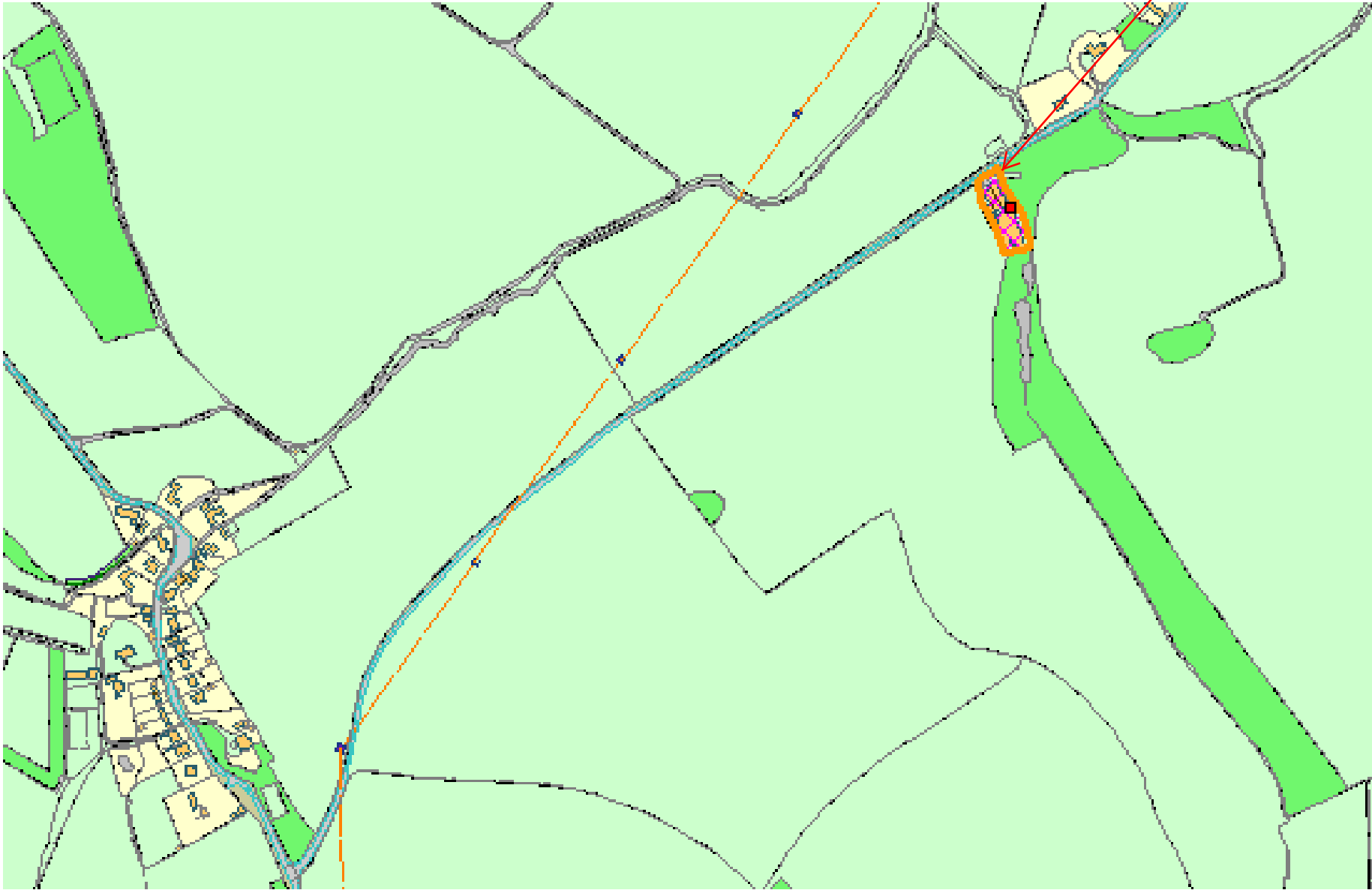
2 Added Value Statement

Article 31(1)(cc) Statement - Positive and Proactive Approach

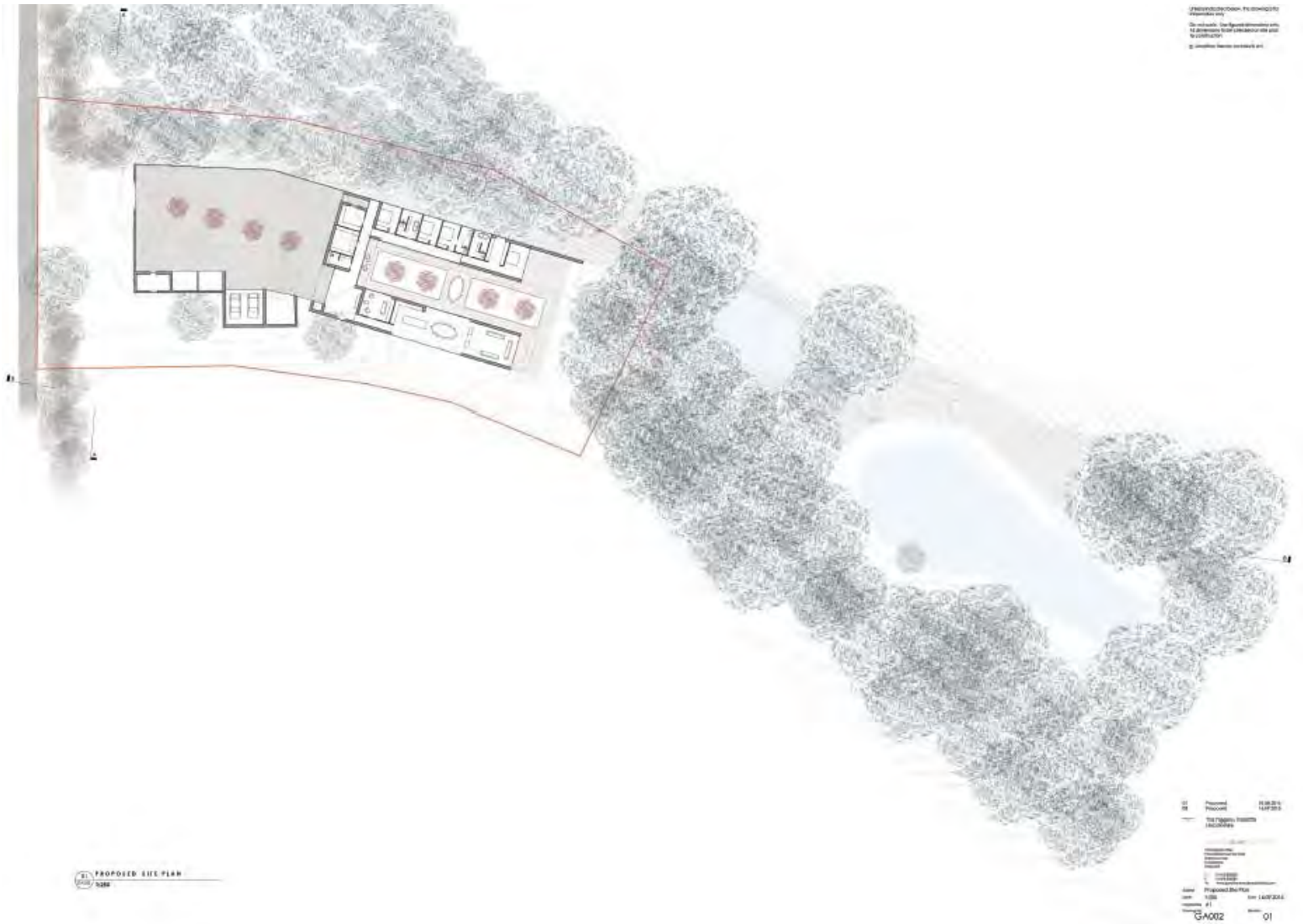
In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by carrying out pre-application discussions.

DM/0322/16/FUL
LAND OFF OLD FARM ROAD, HATCLIFFE

application site



DM/0322/16/FUL - LAND OFF OLD FARM ROAD, HATCLIFFE



North East Lincolnshire Development
 Management Services
 Origin One, Origin Way,
 Europarc, Grimsby,
 North East Lincolnshire,
 DN37 9TZ.
 Telephone: 01472 324213



REQUEST FOR APPLICATIONS TO BE HEARD AT PLANNING COMMITTEE

Ward Member Reply Slip for Applications to be reported to the Planning Committee

Application Number	Reason for Referring to Planning Committee
DM/0322/16/FUL	<p>The applicant is planning to turn a disused piggery into a family home, whilst being sensitive to its location in open countryside. They have been made aware of the Enviromental Agency's concern but believe that they will be able to amelorate this concern by the building methods they will use in the construction.</p> <p>I would like to refer this application to the Planning Committee as I believe it will be a sympathetic conversion which will prove to be asset to its surroundings and provide a long term family dwelling.</p>

Contact Details: -

Signature H M Dickerson..... Date
 27/5/2016.....

Name Cllr HM Dickerson.....

Address: 55 The Avenue
Healing.....

Comments for Planning Application DM/0322/16/FUL

Application Summary

Application Number: DM/0322/16/FUL

Address: Land Off Old Farm Road Hatcliffe North East Lincolnshire

Proposal: Demolition of existing derelict pig sheds and erection of single storey dwelling with associated parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mr Stephen Clarke

Address: Old Farmhouse, Low Road, Hatcliffe,

Comment Details

Commenter Type: Neighbour

Stance: Customer made comments in support of the Planning Application

Comment Reasons:

Comment: This can only be an improvement to the current eyesore, which attracts fly tippers. Provided the floor area and height are similar, we have no objections at all and welcome the development, the sooner the better.

Comments for Planning Application DM/0322/16/FUL

Application Summary

Application Number: DM/0322/16/FUL

Address: Land Off Old Farm Road Hatcliffe North East Lincolnshire

Proposal: Demolition of existing derelict pig sheds and erection of single storey dwelling with associated parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mr Martin Riggall

Address: The Old Barn, Low Road Hatcliffe Grimsby

Comment Details

Commenter Type: Neighbour

Stance: Customer made comments in support of the Planning Application

Comment Reasons:

Comment: The old piggery is an eyesore, detrimental to the landscape of the AONB. It has been a magnet for fly-tippers, vandals and arsonists for many years. We will be very pleased to see the proposal succeed.

Comments for Planning Application DM/0322/16/FUL

Application Summary

Application Number: DM/0322/16/FUL

Address: Land Off Old Farm Road Hatcliffe North East Lincolnshire

Proposal: Demolition of existing derelict pig sheds and erection of single storey dwelling with associated parking and landscaping

Case Officer: Ian Trowsdale

Customer Details

Name: Mr Jonathan Booth

Address: Wisteria lodge Low road Hatcliffe

Comment Details

Commenter Type: Neighbour

Stance: Customer made comments in support of the Planning Application

Comment Reasons:

Comment: We fully support the new development of the old piggery. As it is currently a derelict and disused property, we feel it would greatly enhance the local area having a new property on the site.

PLANNING COMMITTEE - 14th September 2016

ITEM: 4

RECOMMENDATION: Approval with Conditions

APPLICATION NO: DM/0594/16/FUL

APPLICATION TYPE: Full Application

APPLICATION SITE: Land At, Rookery Road, Healing, North East Lincolnshire,

PROPOSAL: Demolition of garage and erection of a single storey dwelling

APPLICANT:

Mr David Coleman
25 Pinfold Lane
Stallingborough
North East Lincolnshire
DN41 8AB

AGENT:

Geoffrey Wagstaff
52 Marlborough Way
Cleethorpes
N E Lincolnshire
DN35 0TR

DEPOSITED: 17th June 2016

ACCEPTED: 15th July 2016

TARGET DATE: 9th September 2016

PUBLICITY EXPIRY: 18th August 2016

AGREED EXTENSION OF TIME DATE:

CONSULTATION EXPIRY: 11th August 2016

CASE OFFICER: Ian Trowsdale

PROPOSAL

The application seeks to demolish an existing garage and build a bungalow on land off Rookery Road, Healing. The application is an amendment to a previously approved scheme for a bungalow. A small conservatory being added to the proposed development and a revised planning application has been submitted for the development.

The details submitted show a two bedded property with windows looking front and rear of the building. A new window to the lounge has been added on the side elevation facing neighbours to Swallow Drive. Also along this elevation are windows to a kitchen, bedroom and bathroom.

Two car parking spaces would serve the proposed development.

The application is brought to Committee in view of the number of objections received from neighbours and the application is recommended for approval.

SITE

The site is located off Rookery Road. Access is taken from a gravelled private road that also serves other properties namely Honeysuckle Cottage, Vetella Cottage and 1-4 Rookery Lane.

A public footpath (Healing Footpath 41) runs along the side of the gravel road from Rookery Road and then alongside the application site to Wisteria Drive and beyond to Stallingborough Road.

Along the northern side of the site are residential properties on Swallow Drive and to the west more residential properties along Mallard Close.

Visibility for vehicles from the private road on to Rookery Road is reasonable given that Rookery Road is a residential street where traffic speeds are low.

RELEVANT PLANNING HISTORY

Planning application DM/0834/15/FUL gave permission for a single storey dwelling in January 2016. A previous application for two dwelling on the site was refused permission in July 2015.

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

Government Guidance

Development Plan Saved Policies

The National Planning Policy Framework (NPPF) provides the national overview of planning policy and gives a presumption in favour of sustainable development. One of the core principles of the NPPF calls for new development to be of a high standard and to provide for a good level of amenity for existing and future occupiers of land and buildings.

Local planning policy is contained in the North East Lincolnshire Local plan 2003. The site lies within the built up area of the village where saved Policy GEN1 applies. In addition, as the development is a housing project, saved Policy H10 is also applicable in the determination of the application.

Paragraph 215 of the NPPF states that due weight should be given to policies in existing plans according to their consistency with the framework. Unless otherwise identified within the report, these policies are considered consistent with the framework and which have the presumption in favour of sustainable development.

REPRESENTATIONS RECEIVED

Healing Parish Council - whilst the Parish Council has no objection to this application it would ask that a planning condition be placed on any permission granted that the dwelling must always remain single storey only with no upper floor.

Highways Officer - recommends provision of vehicular access, parking and manoeuvring space details before development is commenced and construction management plan,

Public Rights of Way Officer - there is a public footpath (Healing FP 41) immediately adjacent to the south, south eastern boundary of this proposed development site, and crossing the access driveway. Concerns are raised to the limited width of the access driveway, in particular the possible conflict between construction traffic and users of the public footpath, and would like further clarification as to how the applicant intends to address this.

Environmental Protection Officer - recommends conditions in respect of hours of construction of work.

Drainage Officer - recommends condition for surface water drainage to be agreed prior to commencement of work and that existing ground levels should not be increased otherwise surface water drainage problems may result.

Neighbours - objections received from number 1 Mallard Close, number 5 and Vetella Cottage Rookery Road, numbers 11 and 15 Swallow Drive - concerns of proximity to existing dwellings, construction traffic and drainage.

APPRAISAL

The key material consideration to determine the application is whether the proposal is a form of development that is sustainable and meets the core planning principles of the National Planning Policy Framework (NPPF) that seeks to encourage a high standard of development and does not have a harmful impact on the amenities immediate neighbours should reasonably expect to enjoy. In addition, consideration needs to be given to highway safety issues both in terms of the use of the access and for users of the public footpath that runs alongside the site from Rookery Road.

It needs also to be acknowledged that a similar proposal was approved on the site earlier this year.

Local planning policy, contained in saved Policy GEN1 of the Local Plan, is supportive of development; although proposals must have regard to their suitability in terms of size, scale, density and impact on the character and appearance of an area and relationship to existing land uses, as well as access and vehicle generation levels.

In addition, saved Policy H10 deals specifically with housing development within gardens, adjoining land and infilling. This policy sets out criteria by which new proposals are to be considered. That includes impact on residential amenity of nearby homes, on such matters as overlooking and loss of privacy, vehicular movement and for proposals not to have an unduly adverse impact on the character and appearance of the immediate area through such matters as density, highway safety and character.

Furthermore, the NPPF advises that the achievement of high quality design is important for all development as it contributes positively to making places better for people.

The application site does not fall within the definition of 'previously developed land' as defined in the NPPF and as such is not a brownfield site. Nevertheless, the site is within the urban area, within a sustainable location with good access to services, facilities and utilities. Regard must also be given to the advice in the NPPF for the need to boost significantly the supply of housing.

The proposed dwelling is single storey and low in height and will not give rise to any overlooking or overshadowing to nearby neighbours' dwellings. Although the dwelling will sit close to the rear boundaries of properties on Swallow Drive, especially No 13 it is proposed that before the development is commenced a new 2m high boundary fence screens the development from the existing development. The intention would be to provide additional measures to safeguard the immediate neighbours' amenities. The objections received have been taken into account but for the reasons detailed and that planning permission has been approved for a previous scheme it is not considered that there are grounds to sustain an objection to the development.

In respect of access, there is a gravelled drive from Rookery Road to the existing garage on site. The volume of traffic using the access is unlikely to increase significantly to the site if the development is permitted. As such, access is not considered to be a significant issue in respect of the proposed development. Comments in respect of construction traffic affecting the public highway are noted and it is recommended that an informative is attached to the decision notice, if permission is granted, advising that the right of way should not be obstructed at any time during the construction period or thereafter.

The comments from the Parish Council are also noted in respect of the dwelling remaining single storey. In response, any application to lift the roof of the dwelling would be the subject of a further planning application and the merits of any further proposal would be considered at that time should an application be submitted.

CONCLUSION

Both national and local planning policies seek to ensure that new development does not have a detrimental effect on the environment and surrounding or adjoining properties and to ensure that development is of a high quality that respects the urban fabric of an area. The development makes appropriate provision for on-site parking and the form and layout of the development would not adversely impact on the amenities of nearby and adjoining

neighbours. Having regard to the submission and that the previous permission remains extant it is concluded that the proposal accords to both guidance as set out in the NPPF and saved policies in the Local Plan and the application is recommended for approval.

RECOMMENDATION

Approval with Conditions

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

No development shall take place until samples of the materials to be used in the construction of the external surfaces of the building hereby permitted have been submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason

To ensure the development has an acceptable external appearance and is in keeping with the visual amenity and character of the area in accordance with saved Policy GEN1 of the North East Lincolnshire Local Plan 2003.

(3) Condition.

No development shall take place until details of the boundary treatment of all site boundaries have been submitted to and approved in writing by the Local Planning Authority. The details shall include 2m high close boarded boundary fence to the rear of the dwellings to Swallow Drive. The construction of the dwelling shall not commence until the approved boundary treatments have been completed. These shall be retained in accordance with the approved details thereafter.

Reason

In the interests of residential amenity in accordance with saved Policies GEN1 and H10 of the North East Lincolnshire Local Plan 2003.

(4) Condition

No development shall commence until a scheme for the provision of surface water drainage has been approved in writing by the Local Planning Authority. Such scheme shall be implemented before the dwelling is occupied.

Reason

To prevent an increased risk of flooding by ensuring the provision of a satisfactory means of surface water disposal in accordance with saved Policy GEN1 of the North East Lincolnshire Local Plan 2003.

(5) Condition

No machinery shall be operated, no process shall be carried out and no deliveries to be taken in or dispatched from the site in connection with the construction of the development hereby approved outside the hours of 8.00 am to 6.00 pm Monday to Friday, 8.00 am to 1pm Saturday and not on Sundays or Bank Holidays or any other time unless agreed in writing with the Local Planning Authority.

Reason

To protect the amenities of nearby residents in accordance with saved Policy GEN1 of the North East Lincolnshire Local Plan 2003.

(6) Condition

The proposed development shall be carried out in accordance with the following approved drawings:-

Drawing No. GW/DC/RR/1 - Proposed Floor Plan and Front Elevation,
Drawing No. GW/DC/RR/2 - Proposed Roof Plan and Rear Elevation,
Drawing No. GW/DC/RR/3 - Proposed Elevations and Sections,
Drawing No. GW/DC/RR/4 - Proposed Street Elevation.

Reason

In the interests of proper planning and the avoidance of doubt.

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan 2003 in the first instance and the National Planning Policy Framework. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2003 and in particular saved Policy GEN1 - Development areas and Policy H10 - Development of Dwellings in Gardens Adjoining Land and Infilling. The planning history has also been taken into account which includes a previous planning permission.

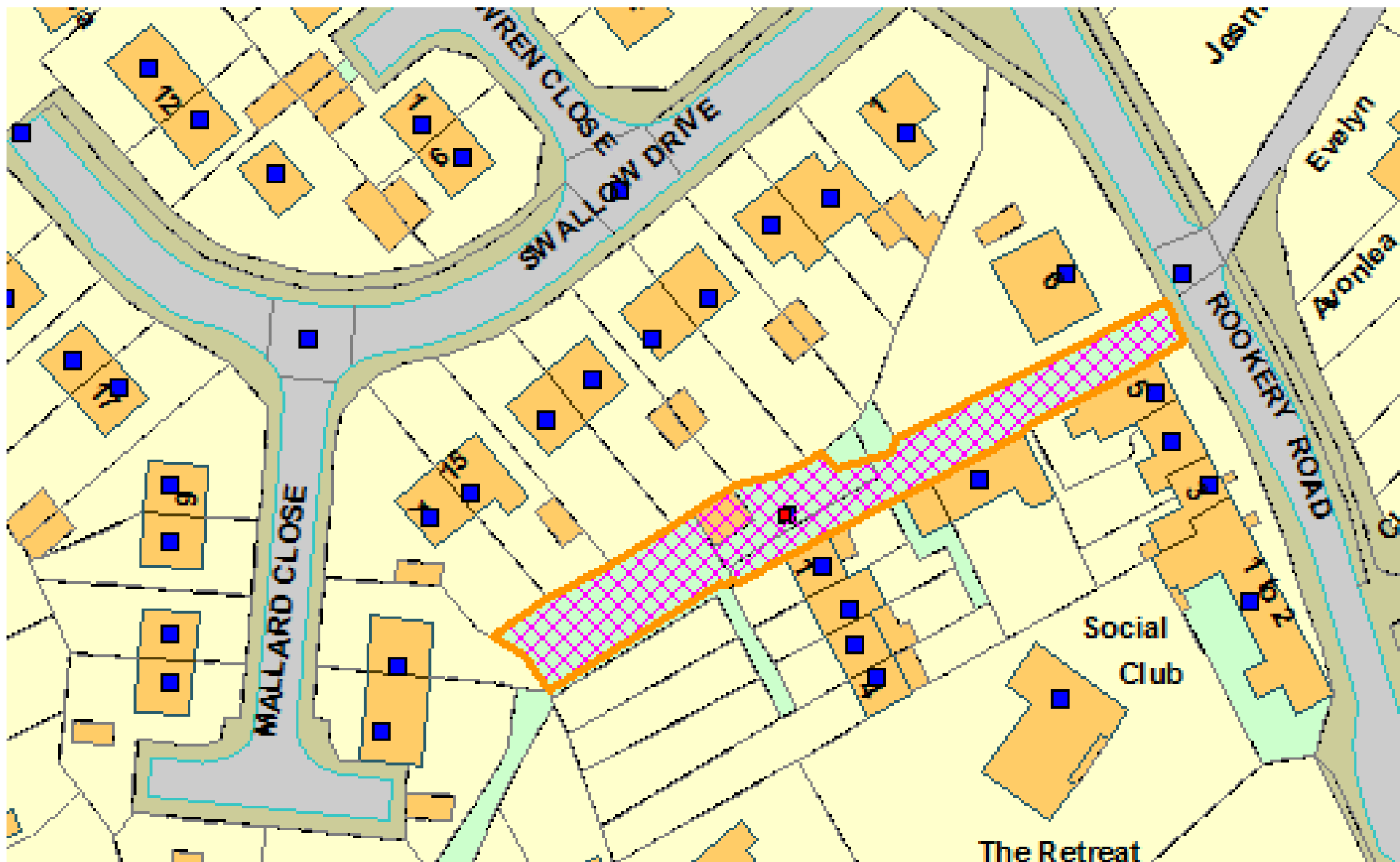
2 Added Value Statement

Article 31(1)(cc) Statement - Positive and Proactive Approach

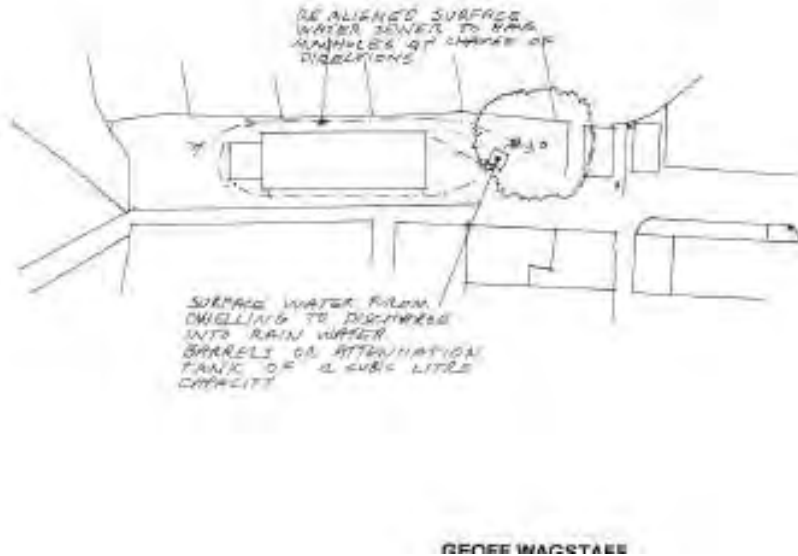
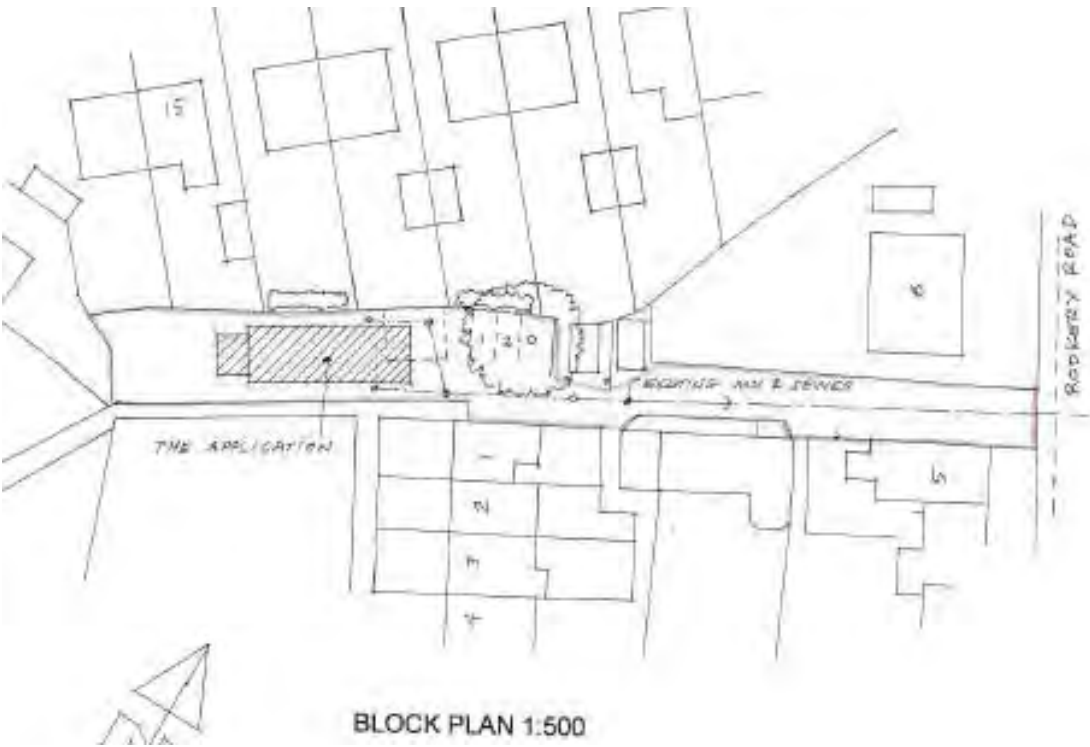
In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner by determining the application in a timely manner.

3 The public footpath shall not be obstructed at any time during the construction period or any time thereafter.

DM/0594/16/FUL
LAND AT ROOKERY ROAD, HEALING



DM/0594/16/FUL – LAND AT ROOKERY ROAD, HEALING



HEALING PARISH COUNCIL

**ELECTRONIC PLANNING CONSULTATION –
SUBMISSION OF COMMENTS/OBSERVATIONS**

11th August 2016

To:
planning@nelincs.gov.uk

Dear Sirs,

The following were discussed at a meeting of Healing Parish Council Meeting held on Tuesday 9th August 2016, and the observations were as follows:

DM/0594/16/FUL Land at Rookery Road

Demolition of garage and erection of a single storey dwelling

Whilst the Parish Council has no objections to this application it would ask that a planning condition be placed on any permission granted that the dwelling must always remain single storey only with no upper floor.

Yours faithfully,

K J Peers

Kathy Peers
Clerk to the Parish Council

Comments for Planning Application DM/0594/16/FUL

Application Summary

Application Number: DM/0594/16/FUL

Address: Land At Rookery Road Healing North East Lincolnshire

Proposal: Demolition of garage and erection of a single storey dwelling

Case Officer: Ian Trowsdale

Customer Details

Name: Mrs Christine Potter

Address: 1 Mallard Close Healing Grimsby

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: We strongly object to the proposed dwelling plans now with the addition of a conservatory for the same reasons as we previously outlined on two previous applications in 2015.

We are very concerned that the building is too close to our property and the possible drainage/ flooding problems we might have due to the build.

Comments for Planning Application DM/0594/16/FUL

Application Summary

Application Number: DM/0594/16/FUL

Address: Land At Rookery Road Healing North East Lincolnshire

Proposal: Demolition of garage and erection of a single storey dwelling

Case Officer: Ian Trowsdale

Customer Details

Name: Mr Brian Leaning

Address: 5 Rookery Road Healing

Comment Details

Commenter Type: Neighbour

Stance: Customer made comments neither objecting to or supporting the Planning Application

Comment Reasons:

Comment: No additional comments to those made on the previous application DM/0607/15/FUL.

Owners

Velilla Cottage

Rookery RD

Healing

Grimsby

NE Lincs DN41 7PS

RECEIVED

09 AUG 2016

Date 7TH Aug 2016

REF No DM/0594/16FUL

Dear Mr Trowstal Sir or Madam

Nothing more to say than we said
like many more including Local Council,
on this matter. Seems its a waste
of Time objecting when so many did
& NE Council do what they want anyway.
I thought it was all settled anyway.



Dear Sir,

REF. DM/0594/16/FUL

I have no objections to these plans, that have now been presented but do need an implicit reassurance that no future planning application to add dormer bedrooms will be passed. However, I am still concerned regarding builders lorries and emergency services gaining access to this plot, as stated in my previous correspondence.

Yours faithfully



15, Swallows Dr.
Healing
Gimmsley
N.F. Kansas

Dear Sir

I am writing once again to protest to the building of DM/0594/16/FUL. On the grounds of it being too close to the boundary of our land. My other concerns are

- 1 The public footpath
- 2 The lane leading to and from the path
- 3 The Drainage

The planning permission was conditionally granted. The applicant seeks to amend the wording of condition No 14. The wording as set out in the permission states:

'Notwithstanding the submitted details, details to provide a secure screen fence across the western boundary of the site including the access track to the west of the site to preclude access to Elm Road by any means, shall prior to the commencement of development, be submitted to and approved in writing by the Local Planning Authority. The fence shall be erected and thereafter retained in accordance with the approved details before any other development commences.'

The applicant seeks to amend the condition as follows:-

'That the access track to the west of the site is secured by a lockable gate which is removed and replaced with a suitable fence once work commences on Plots 8 and 10. The existing fence along the western boundary is made good by agreement to ensure it is fit for purpose. The implementation of this part of the boundary is agreed and implemented before work commences on Plots 8 and 10.'

The application is brought to Committee in view of an objection from Waltham Parish Council.

SITE

The site is located off Ings Lane in Waltham adjoining Grove Park. At the rear of the site there is an unmade access to Elm Road. An adjoining property, Poplar Farm backs on to the application site.

RELEVANT PLANNING HISTORY

Planning application DM/1192/15/FUL gave permission in July 2016 to erect 10 dwellings and garages with associated works. The permission was subject to a Section 106 for education contributions.

Planning application DM/0597/16/CND subsequently discharged a number of planning conditions attached to the permission (3, 5, 6, 7, 9, 11, 12 and 13).

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

Government Guidance

Development Plan

Saved Policies

The National Planning Policy Framework provides national policy advice in respect of imposing planning conditions saying that they should only be imposed where they are necessary, relevant to planning and to the development to be permitted, enforceable, precise and reasonable in all other respects. The policy requirement is referred to as the six tests for imposing planning conditions.

Further advice is given in the Planning Practice Guidance and states that:-

'Care should be taken when considering using conditions that prevent any development authorised by the planning permission from beginning until the condition has been complied with. This includes conditions stating that 'no development shall take place until' or 'prior to any works starting on site..'

Such conditions should only be used where the local planning authority is satisfied that the requirements of the condition (including timing of compliance) are so fundamental to the development permitted that it would have been otherwise necessary to refuse the whole permission. A condition precedent that does not meet the legal and policy tests may be found unlawful by the courts and therefore cannot be enforced by the local planning authority if it is breached. Development carried out without having complied with a condition precedent would be unlawful and may be the subject of enforcement action.

Paragraph 215 of the NPPF states that due weight should be given to policies in existing plans according to their consistency with the framework. Unless otherwise identified within the report, these policies are considered consistent with the framework and which have the presumption in favour of sustainable development.

REPRESENTATIONS RECEIVED

Waltham Parish Council - recommend refusal of this application. The Parish Council do not feel that the existing fencing will provide enough security and privacy by way of its very poor condition. The Parish Council agreed that as the original application stated that a new fence should be erected, that this condition should be upheld in order to provide the existing neighbouring property with adequate security and privacy from this new development. The Parish Council did not object to a temporary gate being installed whilst connection to the services in Elm Road took place, however, agreed that new matching fencing must replace the gate once connections had taken place.

Highways - no observations,

Environmental Protection Team - no comments,

Environment Agency - no observations,

Humberside Fire and Rescue - advisory comments in respect of water supply and access

Neighbours - Poplar Farm - object - condition should be imposed as originally set out given the condition of the fence and security and privacy reasons

APPRAISAL

The material consideration in this case is whether the condition has been reasonably imposed.

Planning Policy Guidance sets out national guidance in respect of imposing planning conditions in respect of impact on the deliverability of development. This includes a consideration of the timing of the requirements of the details and the implementation of those approved details.

The applicant has not disputed the requirement to provide a solid boundary between the development site and Poplar Farm but has challenged the need to provide details prior to the commencement of any development on the whole site. For the avoidance of doubt, he has stated that a new fence will be constructed within the ownership of plots 8 and 10 prior to any building commencing on those specific plots. A new fence would not replace the fence on the boundary with Poplar Farm but will run parallel to the existing fence and sit within the boundaries of Plots 8 and 10.

In order to bring forward deliverability of the site without causing undue harm to the immediate neighbour it is reasonable to review the implementation of the timing of the boundary. In addition, given that there is already a close boarded fence in situ, it is concluded that there is no justification for the local planning authority to secure the boundary details to be implemented prior to any commencement of any development on the site. As such it is concluded that the condition to implement the boundary details be varied to allow the development commence on site and the details and implementation of a new secure boundary along the boundary with Poplar Farm be agreed prior to the commencement of plots 8 and 10.

In addition, given that the applicant needs to gain access on to Elm Road to access the sewer, it is reasonable that a lockable gate is installed for a temporary period whilst the services are under construction and once completed that the temporary gate be replaced with a close boarded fence so that no access can be gained into the site from Elm Road.

Having regard to the above it is recommended that the condition be varied.

CONCLUSION

It is clear from Planning Practice Guidance that consideration is given to the impact of a condition on the deliverability of a development. Given the site specific circumstances, it would be unreasonable that the development of the whole site be subject to details and implementation of a boundary fence on the rear boundary of the site. As such, it is recommended that the condition is varied to enable a start to be made on the

development and the boundary details/implementation be agreed prior to the commencement of the two rear plots (Plots 8 and 10) of the development site.

The applicant will need to agree with the Council an amended Section 106 Agreement to cover an education contribution as previously approved under the permission granted for the development.

RECOMMENDATION

Approved Conditions and signing of S106 with the decision delegated to the Director of Economy and Growth - Place

(1) Condition

The development hereby permitted shall begin before 4th July 2019.

Reason

To comply with S.19 of the Town and Country Planning Act 1990.

(2) Condition

All work relating to trees and hedgerows must follow these requirements:-

1. All tree work shall be carried out to British Standard 3998:10: Recommendation for Tree Work, to an approved 'Schedule of Works' agreed in writing by the Local Planning Authority.

2. No machines may be used and only hand digging undertaken when excavating beneath the crown spread of any tree, unless written consent is first given by the Local Planning Authority. Any roots exposed over 25mm diameter should be carefully retained undamaged and protected, i.e. from unnecessary damage and drying out. All backfilling over exposed roots must use topsoil or washed sand and carefully tamped by hand around and over all roots before continuing to backfill with other materials required for the finished treatment. There shall be no change in the interesting ground levels on the site, unless written consent is first given by the Local Planning Authority.

Reason

To preserve and ensure the continuity of existing landscape features, in the interests of amenity and to ensure correct methods and best practice in safeguarding the present and future health of retained or newly planted trees and hedges and to accord with saved Policies GEN1 and GEN3 of the North East Lincolnshire Local Plan 2003.

(3) Condition

The scheme of landscaping and tree planting shown on Drawing No. 02.318.15.Rev E shall be completed within a period of 24 months, beginning with the date of commencement of the development or within a longer period as may be first agreed in writing with the Local Planning Authority. All trees, hedges, shrubs and bushes shall be

adequately maintained for 5 years or until all construction is complete (whichever is the longer). During that period all losses shall be replaced in the next planting season.

Reason

To ensure a satisfactory appearance and setting for the approved development in the interests of local amenity and to accord with saved Policy GEN1 and GEN3 of the North East Lincolnshire Local Plan 2003.

(4) Condition

No dwelling shall be occupied until the access road has been constructed to at least base course and adequately lit from the connection with Ings Lane up to the said dwelling.

Reason

To ensure that the proposed access road is made up as soon as possible, in the interests of public safety and to accord with saved Policy GEN1 of the North East Lincolnshire Local Plan 2003.

(5) Condition

Before any development is commenced on site, a lockable gate shall be installed on the access to the site from Elm Road. The lockable gate shall be removed and a secure 1.8m high close boarded fence shall be constructed in its place on the access at such time as the services to Elm Road are completed.

Reason

In the interest of local amenity in accordance with saved Policy GEN1 of the North East Lincolnshire Local Plan 2003.

(6) Condition

Before any development is commenced on Plots 8 and 10 as shown on Drawing No. 02.318.15.Rev E, details of the western (rear) boundary treatment which shall include a 1.8m high close boarded fence shall be submitted to, agreed in writing with the Local Planning Authority and be so completed on site in accordance with the approved details and thereafter be so retained.

Reason

In the interests of residential amenity in accordance with saved Policy GEN1 of the North East Lincolnshire Local Plan 2003.

(7) Condition

The development shall proceed in accordance with approved details for tree and hedge protection; means of sewage and surface water disposal; schedule of utility works; road and lighting details; management of carriageway, footways and landscaping; construction method statement; archaeological works and external materials (Conditions 3, 5, 6, 7, 9, 11, 12 and 13 respectively on approval DM/1192/15/FUL) approved under discharge of condition application DM/0597/16/CND.

Reason

To ensure the development is completed in accordance with the approved details in the interests of local amenity in accordance with saved Policy GEN1 and GEN3 of the North East Lincolnshire Local Plan 2003.

(8) Condition

The development shall be carried out in accordance with the following approved plans and specifications:

1) As approved under DM/1192/15/FUL

Drawing No. 02.318 15 Rev A - Proposed plans, elevations and sections for Plots 1 and 3,

Drawing No. 06.318 15 Rev A - Proposed plans, elevations and sections for Plots 2 and 5,

Drawing No. 07.318 15 Rev A - Proposed plans, elevations and sections for Plot 4,

Drawing No. 08.318 15 Rev A - Proposed plans, elevations and sections for Plot 6,

Drawing No. 09.318 15 Rev A - Proposed plans, elevations and sections for Plot 7,

Drawing No. 10.318 15 Rev A - Proposed plans, elevations and sections for Plot 8,

Drawing No. 10.318 15 Rev A - Proposed plans, elevations and sections for Plot 9.

Drawing No. 11.318 15 Rev A - Proposed plans, elevations and sections for Plots 10 and 11,

Drawing No. 03.318 15 - Wheel cleaning, phasing and contractors parts and materials storage,

Drawing No. 3606_10_001/2/3 - Topographical survey,

Drawing No. 13.318 15 - Tree and Fence Details.

2) Under this application DM/0609/16/FUL

Drawing No. 02.318 15 Rev E - Landscape Plan

Reason

In the interests of proper planning and the avoidance of doubt.

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan 2003 in the first instance and the National Planning Policy Framework. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2003 and

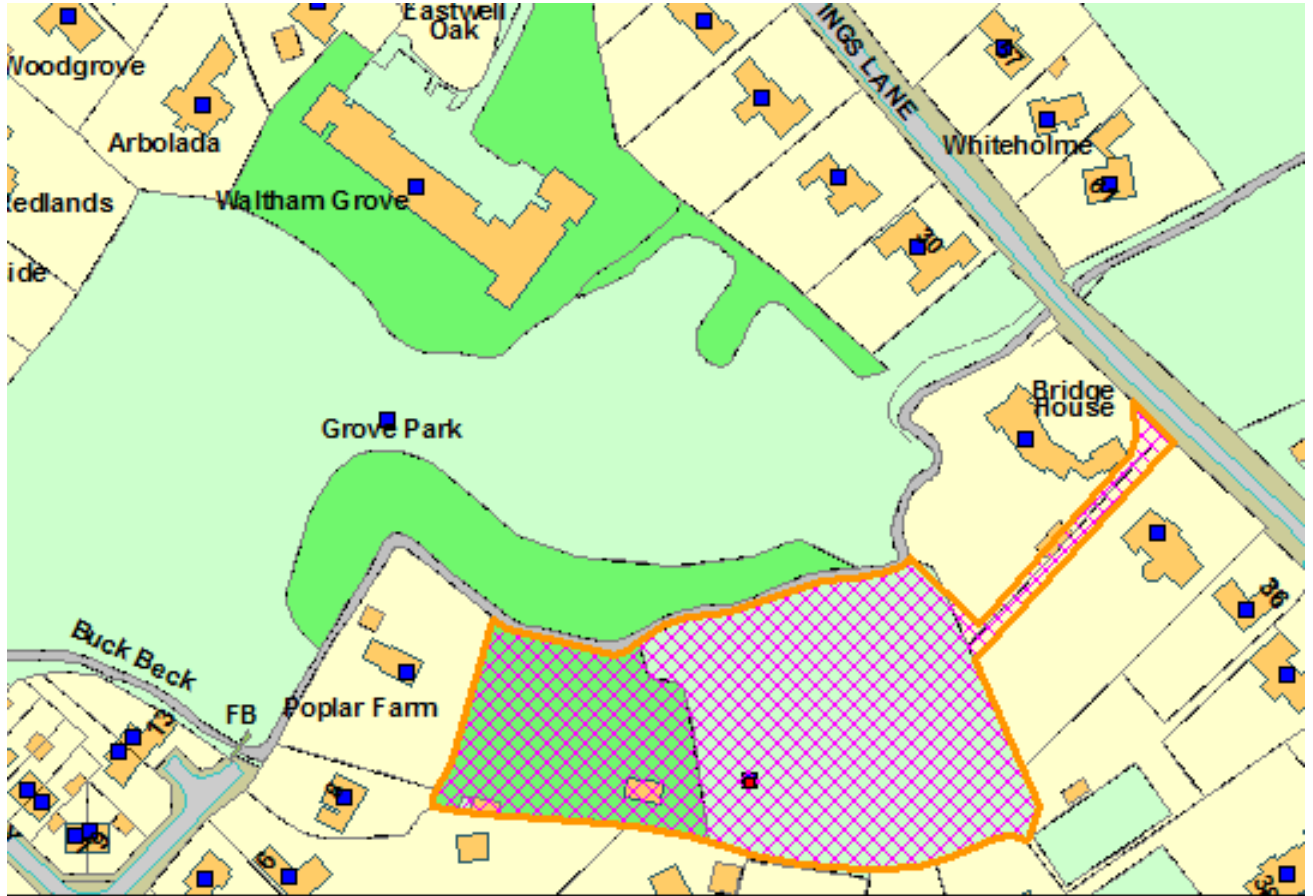
in particular saved Policy GEN1 - Development Areas; GEN3 - Development and Landscaping; Policy T6 - Development Proposals and the Provision of Parking; Policy NH5 - Protection of Trees; Policy NH6 - Protection of Hedgerows and Policy BH12 - Evaluation of Archaeological Remains.

2 Added Value Statement

Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by carrying out pre-application discussions with the applicant.

DM/0609/16/FUL – LAND SOUTH OF INGS LANE, WALTHAM





Consultee Comments for Planning Application

DM/0609/16/FUL

Application Summary

Application Number: DM/0609/16/FUL

Address: Land South Of Ings Lane Waltham North East Lincolnshire

Proposal: Variation of Condition 14 (Secure Screen Fence) as granted on application DC/1192/15/FUL (Erection of 10 detached dwellings with garages and associated works (Re-design of previously approved application DC/651/11/WAB)) for revision to have a lockable gate instead of secure screen fencing which is removed and replaced with a suitable fence upon commencement of Plots 9 & 10 and existing fencing is agreed and implemented before works commence on Plots 9 & 10

Case Officer: Ian Trowsdale

Consultee Details

Name: Mrs Lesley Leach

Address: Parish Office, Kirkgate Car Park, Kirkgate, Waltham, Grimsby DN37 0LS

Email: walthampc@btconnect.com

On Behalf Of: Waltham Parish Council

Comments

DM/0609/16/FUL Land South of Ings lane, Waltham

Variation of Condition 14 (Secure Screen Fence) as granted on application DC/1192/15/FUL for revision to have a lockable gate instead of secure screen fencing, which is removed and replaced with a suitable fence upon commencement of Plots 9&10 and existing fencing is agreed and implemented before works commence on Plots 9&10.

Waltham Parish Council recommend refusal of this application for variation of condition 14.

The Parish Council do not feel that the existing fencing will provide enough security and privacy by way of its very poor condition. The Parish Council agreed that as the original application stated that a new fence should be erected, that this condition should be upheld in order to provide the existing neighbouring property with adequate security and privacy from this new development.

The Parish Council did not object to a temporary gate being installed whilst connection to the services in Elm Road took place, however agreed that new matching fencing must replace the gate once connections had taken place.

Bywater, Andrea

From: Jonathan Hyldon k>
Sent: 28 July 2016 14:25
To: Trowsdale, Ian; PT - Internet Generated E-mails
Cc: Dan Humphrey; 'jonathanhyldon@ntlworld.com'; Cllr - Jackson, Philip; Dixon, Martin
Subject: DM/0609/16/FUL - Land South of Ings Lane, Waltham, North East Lincolnshire
Attachments: SKMBT_65216011218000.pdf; IMG_2993.jpg; IMG_2994.jpg; IMG_2995.jpg; IMG_2996.jpg; IMG_2997.jpg; IMG_2999.jpg; IMG_3001.jpg; IMG_2989.jpg
Importance: High

Dear Sirs,

I write further to the application for variation of condition 14 (Secure Screen Fence) as granted on application DC/1192/15/FUL.

I am the proprietor of Poplar Farm situated on Elm Road, Waltham and located adjacent to the western boundary of the proposed development site.

The Proposal states that the revision is to "have a lockable gate instead of secure screen fencing which is removed and replaced with a suitable fence upon commencement of Plots 9 & 10 and existing fencing is agreed and implemented before works commence on Plots 9 & 10".

Condition 14 on Application Number: DM/1192/15/FUL granted by the Planning Committee stipulated:-

"Notwithstanding the submitted details, details to provide a secure screen fence across the western boundary of the site including the access track to the west of the site to preclude access to Elm Road by any means, shall, prior to the commencement of development, be submitted to and approved in writing by the Local Planning Authority. The fence shall be erected and thereafter retained in accordance with the approved details before any other development commences.

Reason

For the avoidance of doubt and in the interest of residential amenity to accord with saved Policy GEN1 of the North East Lincolnshire Local Plan 2003."

The condition was placed upon the Planning Permission following an inspection of the existing fencing along the western boundary of the site at Poplar Farm and 8 Elm Road by Ian Trowsdale, Senior Development Management Officer, during the consultation period to application DC/1192/15/FUL and also following consideration of the representations and other documentation submitted in respect of the application. That application went before the Planning Committee and condition 14 was placed upon the permission accordingly.

At the inspection it was clearly acknowledged and stated by Mr Trowsdale that the existing fence was not of sufficient quality, type or height providing concern with regards security. This must be the case as a condition was subsequently placed upon the Permission at condition 14.

The current application now seeks to vary the condition as follows:-

"It requires to be changed because

1. Access is needed to install services to Elm Road underneath this track via a no dig.
2. Fencing already exists along the western boundary excluding the track entrance.

If you wish the existing condition to be changed, please state how you wish the condition to be varied:

That the access track to the west of the site is secured by a lockable gate which is removed and replaced with a suitable fence once work commences on Plots 9 and 10. The existing fencing along the western boundary is made good by agreement to ensure it is fit for purpose. The implementation of this part of the boundary is agreed and implemented before work commences on Plots 9 and 10."

It is accepted that there is a requirement for access to install services to Elm Road underneath the "ten foot" via a no dig and that there is a need for a lockable gate which is removed and replaced with a suitable fence once work commences on Plots 9 and 10. No objection is raised to that part of the variation application albeit it should be clearly contained in the condition that no heavy machinery should be allowed access to and from the site via the ten foot to Elm Road. Further, the gate should be of sufficient height to provide the requisite security required.

However, with regards the second part of the variation which seeks to avoid the requirement to "provide a secure screen fence across the western boundary of the site ..." I object vehemently.

The existing fence along the western boundary is not fit for purpose. In my objection to the planning committee as part of application DM/1192/15/FUL it was stated:-

"Further, at the Planning hearing on 16th November 2011, Mr McDowell, representing the applicant, confirmed that there would be close board fencing at a height of 1.8meters running along the whole of the western boundary.

The existing boundary fence between Poplar Farm and the proposed development is of a poor standard. It is a panel fence, which is weak, with many parts in a state of disrepair. Panels can also be lifted up allowing access underneath them and therefore there are serious concerns in relation to crime and safety."

As stated above the existing fence is rotting and not fit for purpose as witnessed at the inspection by Ian Trowsdale. I have been unable to treat the fence which is rotting in a number of places and which is being destroyed by the existing vegetation including ivy on the application site.

I attach a number of photos showing the condition and type of the existing fencing which is not suitable for a development of this nature.

I again rely on all of the points set out in my email below to the Planning Committee and in particular the section which deals with dwelling boundaries and in particular side and rear boundaries as considered at Chapter 10 of Secured By Design (SBD) New Homes 2014 document." with the following paragraphs being incorporated in respect of locations such as the application site and in particular the western boundary.

*10.6 Vulnerable areas, such as exposed side and rear gardens, need more robust defensive barriers by using walls or **fencing to a minimum height of 1.8m.***

10.7 It is expected that developers will install fencing to a high standard to ensure the security and longevity of the boundary. A high quality fence that lasts for a long time will provide security and reduce overall maintenance costs for residents or landlords. A fence that has a long predicted life is also more sustainable. For this reason the SBD suggests that fencing should be constructed as follows:

10.7.1 The method of fixing between panel/rails and posts should create a secure mechanical bond so that panels/slats cannot be easily removed.

10.7.2 The fixings employed in the panel/ to rail construction should be of galvanized steel or stainless steel with a design life to match the timber components.

10.7.3 Posts should be of a non-brittle material.

10.7.4 Where the fence panel is of a slatted design, they should be oriented vertically to avoid step-up points for climbing and be flush across the attack face to resist being pried off and should be no less than 15mm thick and securely affixed to the frame/rails.

10.7.5 Fence heights should be of a minimum 1.8m overall and be capable of raking stepping to maintain height over different terrain.

This proposed variation of condition 14 therefore has serious repercussions in respect of security.

I would therefore ask the Planning Authority to make it a condition upon any permission granted that a close boarded fence is constructed in accordance with "New Homes 2010, Secured by Design", along the whole of the western boundary, as previously offered by the applicant at the hearing in 2011, which shall be of a minimum height of 1.8m and constructed in accordance with the SBD Requirement for fencing as referred to earlier.

I am not adverse to development and represent a number of developers in my position as a commercial property solicitor. However, I am extremely disappointed by the attitude and actions of the applicant in this matter. The applicant is clearly looking to try and save on costs and is seeking to water down his obligations. It is of no surprise that as this is a matter which does not impact upon other residents who had objected previously and therefore will not object that the applicant is now seeking to amend this one condition, no doubt trying to have the matter passed by way of delegated authority and without attendance before the planning committee.

I trust that this matter will be referred to Planning Committee for determination given that this point was previously decided at Committee on the 27th April 2016 (DM/1192/15/FUL) as well as at Committee in November 2011 (DC/651/11/WAB).

Yours Faithfully

Jonathan Hyldon

From: Jonathan Hyldon
Sent: 12 January 2016 17:30
To: 'ian.trowsdale@nelincs.gov.uk'
Cc: 'jonathanhyldon@ntlworld.com'; 'planning@nelincs.gov.uk'
Subject: DM/1192/15/FUL - Land south of Ings Lane, Waltham, North East Lincolnshire

Dear Sirs,

I write to object to the application for the erection of 11 detached dwellings with garages and associated works at the above location.

I am the proprietor of Poplar Farm situated at Elm Road, Waltham and located adjacent to the western boundary of the proposed development site.

The application seeks to amend the layout which had previously been granted in the Notice of Decision dated 14th December 2011, by increasing the number of properties from 8 to 11 and by amending the whole layout of the proposed site.

There are a number of areas which cause grave concern and which if the application is granted I would ask for conditions to be placed upon the Planning Permission.

1. Existing Access between the proposed site and Elm Road

It has previously been acknowledged by the applicant and his representatives that the access between the proposed site and Elm road is to be permanently blocked off by way of fencing. This was acknowledged by both the applicants designer prior to the planning application in 2011 and before the Planning Committee at the subsequent contested hearing in November 2011.

Due to that confirmation and decision of the previous Planning Committee I would ask that if the Planning Authority are minded to grant the application that a condition be placed upon the Planning Permission again confirming that no access is granted to Elm Road from the proposed site.

For completeness my comments in relation to this point are as follows:-

The design and access statement has been created taking into account and in accordance with a number of Development Plan Policies including NH6, albeit very surprisingly, no reference is made to 'Secured by Design – New Homes 2014' design guide', especially as this was referred to in the previous Design and Access Statement submitted by the applicant in 2011 (2010 version) and further, as Humberside Police have made it clear in their comments on the application that "Ideally the development proposal should meet with the recommended guidance contained in the Secured By Design (SBD)New Homes 2014 document."

Paragraph 3.1 of the Secured By Design (SBD)New Homes 2014 ("SBD") states:-

3.1 There are advantages in some road layout patterns over others especially where the pattern frustrates the searching behaviour of the criminal and his need to escape. Whilst it is accepted that through routes will be included within development layouts, the designer must ensure that the security of the development is not compromised by excessive permeability, for instance by allowing the criminal legitimate access to the rear or side boundaries of dwellings, or by providing too many or unnecessary segregated footpaths (Note 3.1).

In relation to the proposed site there is currently an existing access route from Elm Road. This takes the form of a ten foot which runs between the properties at 8 Elm Road and Poplar Farm and joins Elm Road through a shared private driveway (see Landscape drawing submitted with the application).

If the application is granted without a permanent barrier between the properties at 8 Elm Road and Poplar Farm 'blocking' off the ten foot then there is an increased risk in relation to criminal activity as this route would clearly allow permeability both too and from the proposed site.

Paragraph 3.1 is clear that a designer must ensure that a developments security is not compromised. If the existing access is not permanently blocked off by a physical barrier then a criminal will be allowed access to the rear and side boundaries of dwellings. This would directly effect both 8 elm Road, Poplar farm and Plot 11 of the proposed development and will no doubt directly effect the other properties within the vicinity of the existing access route as well.

As the SBD states further “...no guarantee of lower crime, which evidence proves is achieved through the control and limitation of permeability and physical blocking up of the access route.”

The note at 3.1 of SBD also directly impacts upon the issue arising in this instance:

*The Design Council's/CABE's Case Study 6 of 2012 states that: “Permeability can be achieved in a scheme without creating separate movement paths” and notes that “paths and pavements run as part of the street to the front of dwellings. This reinforces movement in the right places to keep streets animated and **does not open up rear access to properties”.***

Paragraph 3.2 of SBD also states that a review of available research in this area concluded that:-

3.2 A review of available research in this area concluded that: “Neighbourhood permeability... is one of the community

level design features most reliably linked to crime rates, and the connections operate consistently in the same direction across studies: more permeability, more crime. Several studies across several decades link neighbourhood property crime rates with permeability versus inaccessibility of neighbourhood layout. Neighbourhoods with smaller streets or more one-way streets, or fewer entrance streets or with more turnings have lower property crime rates...” Source: Taylor R B 2002 “Crime Prevention Through Environmental Design (CPTED).

The evidence is clear from studies and various other sources that more permeability leads to more crime. Therefore I would again stress that the only way the appropriate level of security can be achieved is through the permanent and physical blocking up of the access route.

Paragraph 3.3 of SBD also states that “Research shows that features that generate crime within cul-de-sacs invariably incorporate one or more of the following undesirable features:

- linked to one another by footpaths.

If any of the above features are present in a development additional security measures may be required. Footpaths linking cul-de-sacs to one another can be particularly problematic, and in such cases the layout may need to be re-considered.”

Dwelling boundaries and in particular side and rear boundaries are considered at Chapter 10 of SBD with the following paragraphs being incorporated in respect of locations such as the application site and in particular the western boundary.

*10.6 Vulnerable areas, such as exposed side and rear gardens, need more robust defensive barriers by using walls or **fencing to a minimum height of 1.8m.***

10.7 It is expected that developers will install fencing to a high standard to ensure the security and longevity of the boundary. A high quality fence that lasts for a long time will provide security and reduce overall maintenance costs for residents or landlords. A fence that has a long predicted life is also more sustainable. For this reason the SBD suggests that fencing should be constructed as follows:

10.7.1 The method of fixing between panel/rails and posts should create a secure mechanical bond so that panels/slats cannot be easily removed.

10.7.2 The fixings employed in the panel/ to rail construction should be of galvanized steel or stainless steel with a design life to match the timber components.

10.7.3 Posts should be of a non-brittle material.

10.7.4 Where the fence panel is of a slatted design, they should be oriented vertically to avoid step-up points for climbing and be flush across the attack face to resist being pried off and should be no less than 15mm thick and securely affixed to the frame/rails.

10.7.5 Fence heights should be of a minimum 1.8m overall and be capable of raking stepping to maintain height over different terrain.

There is also an additional issue of public safety which arises. Both the proprietors of Poplar farm and 8 Elm Road drive as well as visitors to those properties and therefore if a member of the public decided to use this as a through route or even juveniles obtained access while playing then they would be susceptible to being seriously hurt or even killed by vehicles using the private driveway who would not be expecting persons to be on that land.

Therefore due to all of the points raised I would ask that if the Planning authority are minded to grant the application I would ask them strenuously to incorporate the following conditions:-

1. That no access is granted to Elm Road from the proposed site.

On the existing Planning Permission granted for the application site (DC/651/11/WAB) Condition 14 was added to the Planning Permission:-

“Prior to the development commencing, details of a secure screen fence across access way at the west end of the site to preclude access to Elm Road by any means, shall be submitted to and approved in writing by the Local Planning Authority. The fence shall be erected and thereafter retained in accordance with the approved details before any other development commences.”

A similar condition placed upon the Planning Permission would again have the same effect.

2. Boundary between the proposed site and Poplar Farm/Elm Road.

Leading on directly from the position regarding the access from Elm Road is the position with regards the western boundary. This has been covered in great deal above and especially at paragraphs 10.6 and 10.7 of the SBD.

On the existing Planning Permission granted for the application site (DC/651/11/WAB) Condition 14 as highlighted above was added to the Planning Permission.

Further, at the Planning hearing on 16th November 2011, Mr McDowell, representing the applicant, confirmed that there would be close board fencing at a height of 1.8meters running along the whole of the western boundary.

The existing boundary fence between Poplar Farm and the proposed development is of a poor standard. It is a panel fence, which is weak, with many parts in a state of disrepair. Panels can also be lifted up allowing access underneath them and therefore there are serious concerns in relation to crime and safety.

I would therefore ask the Planning Authority to make it a condition upon any permission granted that a close boarded fence is constructed in accordance with “New Homes 2010, Secured by Design”, along the whole of the western boundary, as previously offered by the applicant at the hearing in 2011, which shall be of a minimum height of 1.8m and constructed in accordance with the SBD Requirement for fencing as referred to earlier.

As well as providing security and safety if constructed as above, the fence will also provide privacy as the large leylandii on the boundary of Poplar Farm has recently been removed.

The Applicants latest Design & Access Statement also considers the existing boundary stating:-

“The surrounding land to the site to the east, west and south is occupied with residential developments of multiple architectural styles and ages. These boundaries also have substantial hedging and bushes along them and where not 1.8M fencing which again provides clear separation.”

Again, if the Planning Authority are minded to grant this application then I would again reiterate that close board fencing is installed along the whole of the western boundary and to the height of 1.8m as recognised by the applicant in his own Design & Access Statement, as referred to above.

It should be noted that on the Landscape Plan attached to the application, in the legend the pink line highlighting the fence on the western boundary is defined as “Close Boarded Timber Fence 1.5m high”. If this proposed development is to be in keeping (especially considering the applicants own words) with the existing properties then surely the height of the fence should be 1.8m. Further, this will also ensure safety for the reasons as already set out above. This would also be in line with the confirmation given to the Planning Committee at the previous hearing.

Further, on the Landscape Plan it appears that there are three separate sections of close board fencing along the western boundary rather than along the whole length. Surely this should stretch across the whole length.

Therefore I would ask that a second condition is placed upon the Planning Permission which is as follows:-

- 1. That close board fencing is installed along the whole of the western boundary and to the height of 1.8m**

- 3. Trees and Hedging along the western boundary**

Further, I would request that a condition is included on the Planning Permission that confirms that the hedging and trees as specified on the Landscape Plan are protected and retained. Currently the Plan shows that along the length of the western boundary there will be “Beech and mixed species of Purging buckthorn, Guelder Rose and Wayfaring tree at 1.2m high planted in a double staggered row at 4 per linear metre”

There is nothing though to prevent these trees and bushes being removed at a later date or by the purchasers of the individual properties if the development proceeds.

- 4. Foul Sewerage Network / Surface Water Disposal**

In relation to the Foul Sewerage Network/ Surface Water Disposal my position remains the same as in all of my previous correspondence in relation to the various applications and appeals over the years. As set out in the attached document which was submitted as part of my comments to application DC/651/11/WAB in 2011 I again reiterate that I was informed by the applicant’s designer that the foul sewerage network and surface water disposal would not be connected to any of the manholes in Elm Road with connection taking place to the manholes in Ings Lane. After not objecting on that ground the applicant then saw fit to amend his position, a change which I would vehemently have objected to.

As the Planning Authority will be aware from previous correspondence and letters received from both residents of Elm Road and other areas effected by the application site, both elm road itself and various properties including Poplar Farm have been subject to instances of flooding and again it is stressed that

the drainage system would not be able to cope with additional Foul sewerage/surface water disposal waste.

I refer the Planning Authority to all of the points raised in the attached document (my letter to the Planning authority dated 17th October 2011).

In view of the above information referred to and the various correspondence on this aspect as already received from other parties and which I support and adopt I would request that if the Planning Authority are minded to grant this application that there is a proposed condition that at no time shall there be any connection of the foul sewerage network or surface water disposal to Elm Road.

I am also aware of objections raised by the residents of Ings Lane in relation to drainage and therefore if there was an issue in relation to the sewerage then as Mr McDowell previously stated before the Planning Committee on the 16th November 2011 that bio tanks could be used to alleviate the problem. Again the Committee may wish to add a condition to this effect on any permission if they are minded to grant the application to alleviate the concerns of the residents of Ings Lane.

I therefore ask that the following condition is placed upon any Permission:-

- 1. That no foul sewerage network or surface water disposal be connected to any manhole in elm road from the proposed site.**

Jonathan Hyldon
12th January 2016

















2. Foul Sewerage Network / Surface Water Disposal

The second point which I draw to the Planning Committees attention is in relation to the foul sewerage network and surface water disposal.

As part of the application a number of documents were submitted by the applicant in support one of which is a Pre-Development Report from Anglian Water dated 8th September 2011.

At page 5 of the said report are sections in relation to the Foul Sewerage Network and Surface Water Disposal (see Annex 2).

Paragraph 3.4 states that in relation to the foul sewerage network the connection point would be to manhole 4402 in Elm Road. In relation to the Surface Water Disposal paragraph 3.5 states the connection point is to manhole 4452 in Elm Road.

As stated above I spoke to Mr Hendry, the applicant's designer, at 9.40am on the 17th October 2011 who confirmed that the Foul Sewerage Network and Surface Water disposal will not be connected to any of the manholes in Elm Road with connection taking place to manholes in Ings Lane.

On that basis I would therefore ask that the following covenant be placed on the Planning Permission if the Planning Committee grant the application:

1. That no foul sewerage network or surface water disposal be connected to any manhole in Elm Road from the proposed site

In relation to the foul sewerage network and the surface water disposal I would comment that the sewerage pipe if routed from the proposed development site to manhole 4402 would need to pass within a maximum of 2 meters from three Balsam Poplar hybrid trees of around c. 30m in height and also within a maximum of three meters from four sycamore trees (c.20m in height) all of which would have a root protection radius of 9m and are subject to tree preservation orders. If the pipe is routed in this direction it may have an adverse effect on the trees in question with possible outcomes including the death or illness of the trees, damage to the tree roots or the leaning of trees.

Further the surface water disposal pipe if routed to manhole 4452 would also have to follow the same route causing even further disturbance to the roots of the trees in question.

Elm Road has also been subject to numerous instances of flooding and drainage problems. Additional evidence can and will be produced to the Planning Committee if required on this.

Further, if additional water at the rate of 1.45 litres/second was discharged into manhole 4452 on Elm Road then it must be the case that this would lead to a greater

risk of flooding at the manhole as there would be instances when more water would be in the system at this juncture thereby increasing the risk of flooding.

The applicant's designer has confirmed that a connection would be permitted from the proposed site to Ings Lane at manhole 6502 and that the connection for Foul Sewerage Network and Surface Water disposal will not be connected to any of the manholes in Elm Road with connection taking place to manholes in Ings Lane. This route has also been confirmed by Anglian Water in their correspondence with the applicant dated 22 September 2011.

Again, on that basis I would therefore ask that the following covenant be placed on the Planning Permission if the Planning Committee grant the application:

1. That no foul sewerage network or surface water disposal be connected to any manhole in Elm Road from the proposed site

I would also comment that a pipe located under a highway also contains additional requirements including a minimum cover of 1.2m compared to 0.9m elsewhere and therefore it could be argued that this will make the pipes safer and less likely to damage than a pipe buried directly underneath just earth.

Finally, in relation to the application form itself Part 11 it deals with Foul sewerage. This states that foul sewerage is to be disposed of by mains sewer. The drawing highlighting this being SK-002. Having checked with a planning officer it was confirmed that Drawing number SK-002 was not included with the application and was not the correct drawing number anyway. Having made checks with the applicant or his representatives the planning officer confirmed that the correct drawing was number PSL_201 Rev01 which was already included with the application documents.

Drawing number PSL_201 Rev01 contains the following wording on the legend: "*foul water drainage run to connect into mains sewer along Ings Lane*" (see Annex 1). Therefore if the position was to change and the applicant was seeking to use Elm Road then I would add that the information provided with the application is incorrect and that persons who may have objected have not based on the information being incorrect.

I would again invite the Committee to bear this in mind when deciding upon the application and again would state that if the Planning Application is granted then the Covenant referred to above be placed on the Planning Permission.

Yours faithfully

 Jonathan Hyldon
JOHN GAUNT & PARTNERS
 e-mail : jhyldon@john-gaunt.co.uk

3. WASTEWATER SERVICES

- 3.1. For both foul and surface water communications to the public sewerage system you must make a formal application under Section 106 of the Water Industry Act (1991) prior to commencement of works to obtain the approved method and location of connection.
- 3.2. Sewers intended for future adoption by Anglian Water under Section 104 of the Water Industry Act (1991) must be constructed in accordance with 'Sewers for Adoption, Sixth Edition'. A copy is available from the publisher: Water Research Centre, Frankland Road, Blagrove, Swindon, Wilts. SN5 8YF.

Before commencement of any proposed adoption works under Section 104 a formal application should be made.

Wastewater Treatment

- 3.3. The foul drainage from this development is in the catchment of Tetney Newton Marsh Sewage Treatment Works that will have available capacity for these flows.

Foul Sewerage Network

- 3.4. The sewerage system, at present, has available capacity for gravity flows from the proposed development site. The connection point will be to manhole 4402 in Elm Road; if pumping is required, Anglian Water will need to reassess the impact of the flows on the system and agree a pumping rate.

Surface Water Disposal

- 3.5. The preferred method of surface water disposal would be to a sustainable drainage system (SUDS) with connection to sewer seen as the last option. Planning Policy Statement 25: Development and Flood Risk emphasises the role of SUDS and introduces a presumption that they will be used in all developments.

Building Regulations on Drainage and Waste Disposal for England includes a surface water drainage hierarchy, with infiltration on site as the preferred disposal option, followed by discharge to watercourse and then connection to a sewer.

- 3.6. The maximum surface water discharge which would be accommodated is 1.45 litres/second. The connection point is to manhole 4452 in Elm Road.

Surface water that exceeds the maximum allowable discharge will require some form of on-site attenuation; the details will need to be

PLANNING COMMITTEE - 14th September 2016

ITEM: 6

**RECOMMENDATION: Approval with
Conditions**

APPLICATION NO: DM/0639/16/FUL

APPLICATION TYPE: Full Application

**APPLICATION SITE: Greenlands, Old Main Road, Barnoldby Le Beck, North
East Lincolnshire, DN37 0BE**

**PROPOSAL: Amendment to house type for Plot 1 (as submitted with
DM/1246/15/REM)**

APPLICANT:

Mr M Hattersley
Brigsley Cottage
31b Brigsley Road
Waltham
Grimsby
DN37 0JX

AGENT:

DEPOSITED: 1st July 2016

ACCEPTED: 11th July 2016

TARGET DATE: 5th September 2016

**PUBLICITY EXPIRY: 22nd September
2016**

AGREED EXTENSION OF TIME DATE:

**CONSULTATION EXPIRY: 3rd August
2016**

CASE OFFICER: Richard Limmer

PROPOSAL

The proposed development is for a detached house on part of the site where the former Greenlands bungalow sat off Old Main Road in Barnoldby le Beck. The proposed dwelling is an amended house type to the previously approved reserved matters application under DM/1246/15/REM. The original outline consent was granted under DM/0177/14/OUT. The differences in the proposal are that the proposed dwelling is moved 2m to the east, rooms are provided in the roof space and the design of the elevations are changed.

This application has been brought to Planning Committee for consideration as the site sits partially outside of the Development Area Boundary on the NELLP 2003 for Barnoldby le Beck and therefore represents a departure from the Local Plan.

SITE

The site is located off of Old Main Road in Barnoldby Le Beck at the eastern edge of the village. The site played host to a detached bungalow "Greenlands" which has recently been demolished. The site also extends beyond the curtilage of the previous dwelling and into the open countryside beyond. Roughly one third of the site is within the development area boundary with the remaining two thirds outside of it. The northern boundary is open with no boundary feature; the southern boundary has a mixture of hedge adjacent to the neighbours at The Hollow and then open to Old Main Road. The western boundary is a high hedge with trees adjacent to The Lawns. To the east of the site is plot 2 of the original outline consent which was granted reserved matters in 2015.

RELEVANT PLANNING HISTORY

DM/0177/14/OUT - Outline application for the erection of two dwellings - approved

DM/1246/15/REM - Reserved matters for plot 1 for the erection of a detached dwelling - approved.

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

Government Guidance

Development Plan

Saved Policies

Paragraph 215 of the NPPF states that due weight should be given to policies in existing plans according to their consistency with the framework. Unless otherwise identified within the report, these policies are considered consistent with the framework and which have the presumption in favour of sustainable development.

REPRESENTATIONS RECEIVED

Parish Council - No objections subject to the front boundary fence being limited to 1m high.

Env. Health - No objections

Drainage - No objections to the use of soakaways.

APPRAISAL

1. Principle of Development

2. Impact on Neighbours and Character of the Area

3. Impact on the Character of the Area

4. Highway Safety

1. Principle of Development

The principle of the development was established through the approval of the outline consent under DM/0177/14/OUT and the subsequent Reserved Matters application DM/1246/15/REM. This proposal is for an amended house type and as such in principle it is considered to be acceptable.

2. Impact on Neighbours and Character of the Area

The proposed dwelling would be a full two storey dwelling with rooms in the roof. The rooms in the roof would only have openings in the rear roof slope in the form of 3 dormer windows but there are two roof lights proposed on the front roof slope to give light to the stair well. Windows at first floor would look down Old Main Road and into the rear garden. With regard to impact on neighbours residential amenity there would be a separation distance of 43m between the front elevation of the proposed dwelling and the rear elevation of The Hollow and 42m from the rear elevation of The Meadows. There is also existing landscaping on the rear boundaries of the neighbours and further landscaping proposed within the application site. The neighbour to the west, Beck House, is 15m from the single storey element of the proposed house and 19m from the two storey aspect. The two storey aspect has a hipped roof which helps reduce the mass of the dwelling.

No objections from neighbouring properties have been received.

It is considered that given the size, scale and position of the proposed dwelling it would not cause any undue harm to the residential amenities of the neighbouring properties in accordance with saved Policies GEN1, GEN2 and H10 of the NELLP 2003 and the NPPF 2012.

3) Impact on the Character of the Area

Barnoldby le Beck, whilst a relatively small village contains a range of dwelling types, designs and sizes. Even within the context of this site there is a mixture of dwellings. The properties within The Paddocks are all very large houses on large plots whilst the properties on Old Main Road are more modest. The proposed dwelling is of a pleasant design with features seen regularly within the village. It would not be excessively high but will provide views through to Old Main Road and Waltham Road. The existing views from these roads are not particularly soft and so the proposed development would not unduly harm them. The use of landscaping will help break up these views and the mass of the

dwelling. It is therefore considered that the proposed dwelling would not unduly harm the character and appearance of the area in accordance with saved Policies GEN1, GEN2, GEN3 and H10 of the NELLP 2003 and the NPPF 2012.

4) Impact on Highway Safety

The application is for the erection of one dwelling. The traffic generated by this single dwelling would be minimal and would not in itself cause an undue impact on the highway safety for the area. The access to the proposed dwelling would be taken directly off Old Main Road adjacent to the access approved for the neighbouring plot. The point of access provides extensive views down Old Main Road both to the west and south. The Highways Officer has considered the proposal and raises no specific concerns over the impact on highway safety or amenity. The proposal is therefore considered to accord with saved Policies GEN1, GEN2 and H10 of the NELLP 2003 and the NPPF 2012.

CONCLUSION

In conclusion, it is considered that the proposed development would not harm the character and appearance of the area or the residential amenities of the neighbouring properties. The proposal therefore accords with saved Policies GEN1, GEN2 and GEN3 of the NELLP 2003 and sections 6 and 7 of the NPPF 2012, it is therefore recommended for approval.

RECOMMENDATION

That the issue of the approval be delegated to the Director of Economy, Growth and Place following completion of the publicity period which expires on 22nd September 2016 and no new material planning issues being raised.

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

The development shall be carried out in accordance with the following plans: 01c, 02b, 03, 04a, 05, 06b, 07a, 1115-1071-CIV-30b.

Reason

For the avoidance of doubt and in the interests of proper planning.

(3) Condition

Prior to development commencing full details of the surface water soakaways shall be submitted to and approved in writing by the Local Planning Authority. The development shall then proceed in accordance with approved plan ref:07A and the approved details of this condition or any alternative scheme as approved in writing by the Local Planning Authority.

Reason

To ensure that the surface water is disposed of appropriately in accordance with the National Planning Policy Framework 2012 and saved Policy GEN1 of the North East Lincolnshire Local Plan 2003.

(4) Condition

The scheme of landscaping and tree planting shown on drawing ref:06B; shall be completed within a period of 12 months, beginning with the date on which development began or within such longer period as may be first agreed in writing by the Local Planning Authority. All planting shall be adequately maintained for 5 years, beginning with the date of completion of the scheme and during that period all losses shall be replaced during the next planting season.

Reason

To ensure a satisfactory appearance and setting for the development and continued maintenance of the approved landscaping in the interests of local amenity in accordance with the National Planning Policy Framework 2012.

Informatives

1 Reason for approval

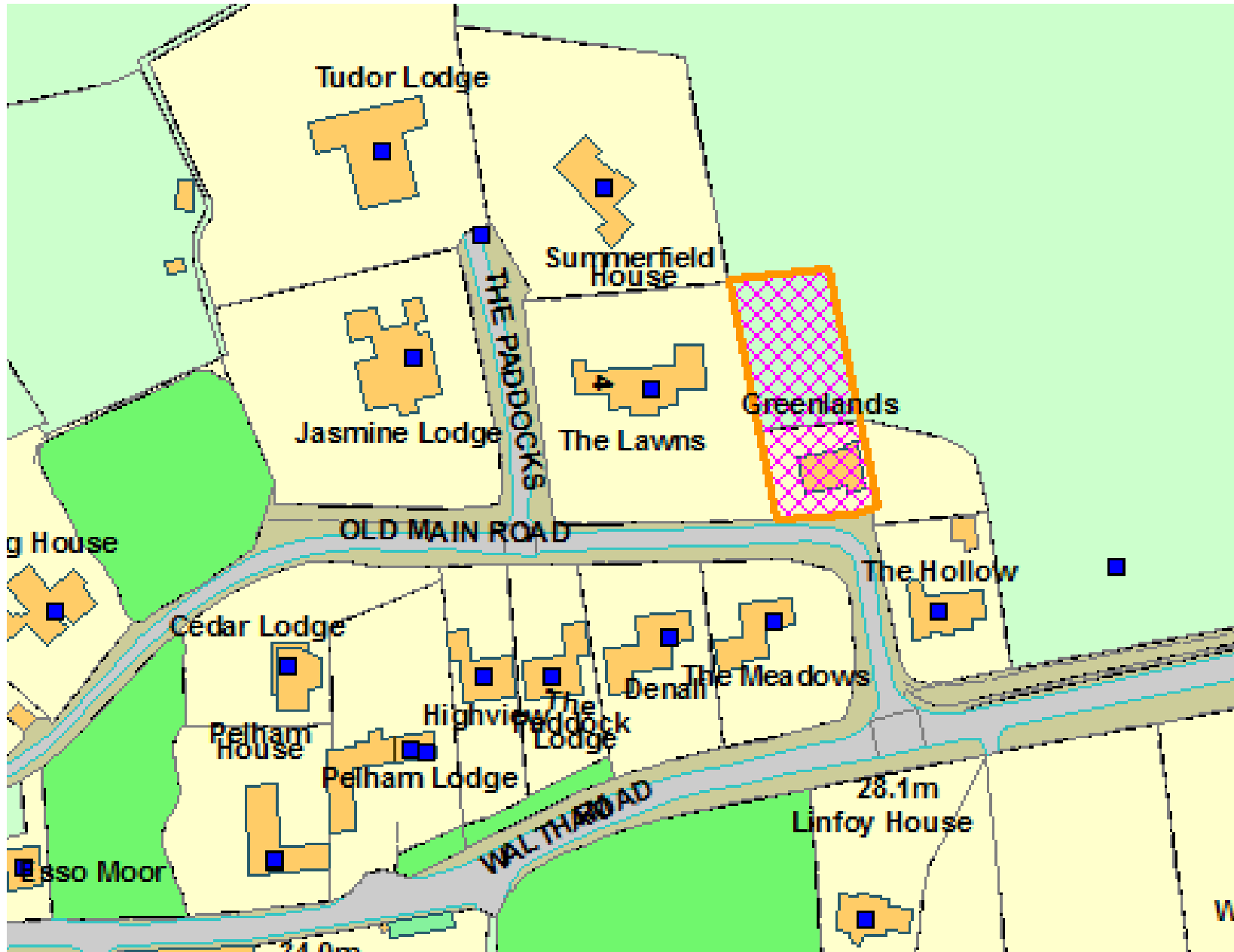
The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan 2003. The proposal would not harm the area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2003 and in particular saved Policies GEN1, GEN2 and H10.

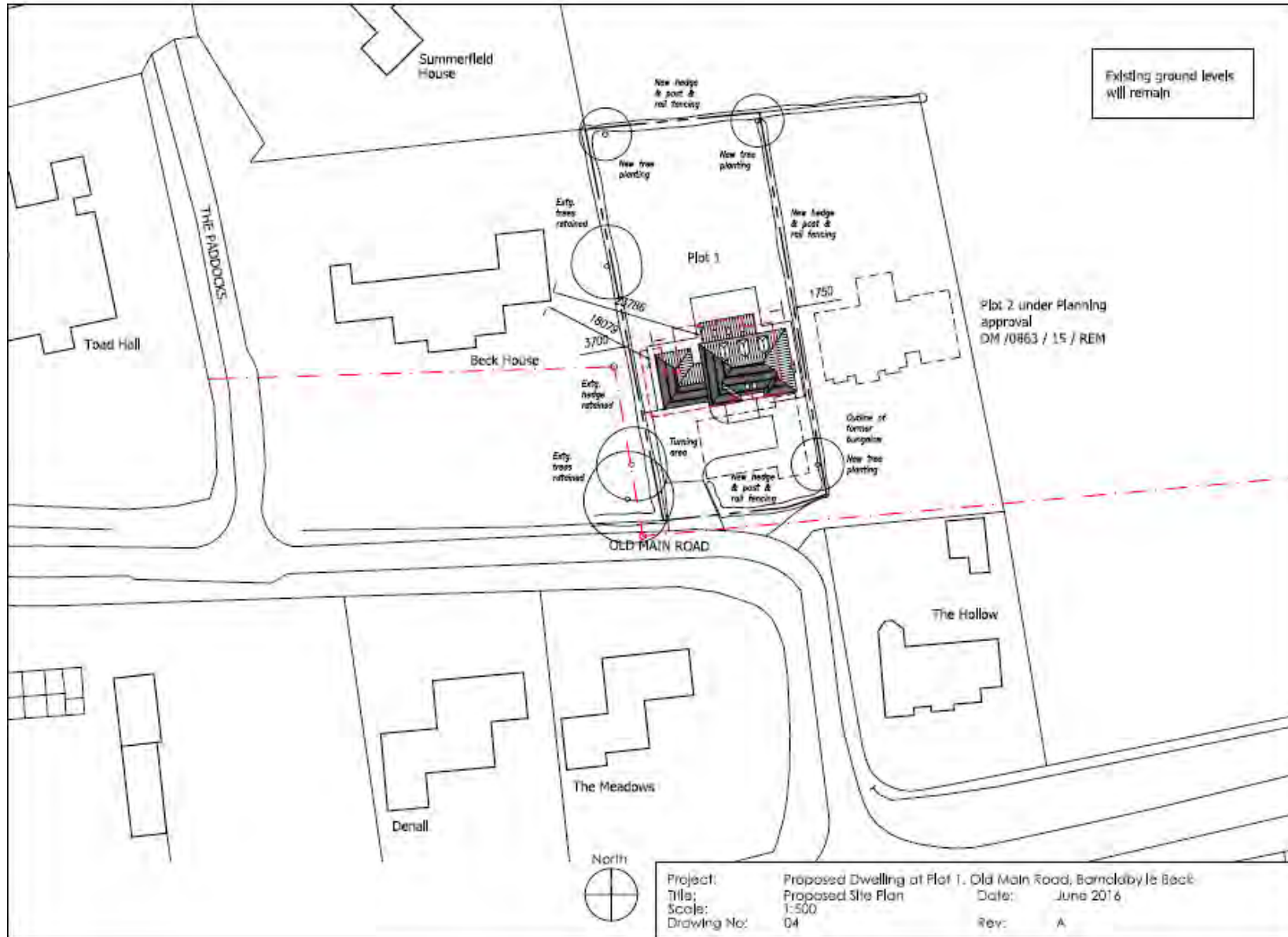
2 Added Value Statement

Article 31(1)(cc) Statement - Positive and Proactive Approach

In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by negotiating on minor changes through the application process.

DM/0639/16/FUL
GREENLANDS, OLD MAIN ROAD, BARNOLDBY-LE-BECK





Consultee Comments for Planning Application

DM/0639/16/FUL

Application Summary

Application Number: DM/0639/16/FUL

Address: Greenlands Old Main Road Barnoldby Le Beck North East Lincolnshire DN37 0BE

Proposal: Amendment to house type for Plot 1 (as submitted with DM/1246/15/REM)

Case Officer: Richard Limmer

Consultee Details

Name: Mrs Barnoldby Le Beck Parish Council

Address: 12 Waldorf Road, Cleethorpes, North East Lincolnshire DN35 0QD

Email: Barnoldbypc@outlook.com

On Behalf Of: Parish

Comments

DM/0639/16/FUL Greenlands, Old Main Road, Barnoldby le Beck

Amendment to house type for Plot 1

Barnoldby le Beck Parish Council did not have any objections to this proposal providing that the front fence, which is next to the highway, is no taller than 1mtr high.

Should the fence remain 1.2mt high where it meets the highway this parish council would recommend refusal.

PLANNING COMMITTEE - 14th September 2016

ITEM: 7

RECOMMENDATION: Approval with Conditions

APPLICATION NO: DM/0619/16/FUL

APPLICATION TYPE: Full Application

APPLICATION SITE: Brook End, Main Road, Hatcliffe, Grimsby, North East Lincolnshire, DN37 0SL

PROPOSAL: Erect first floor extension to rear to include balcony, erect first floor extension to side to include the installation of a rooflight with alterations

APPLICANT:

Mr & Mrs H Hudson
Brook End
Main Road
Hatcliffe
Grimsby
North East Lincolnshire
DN37 0SL

AGENT:

Mr Steve Hanks
FLARE VISUAL LTD
The Terrace
Grantham Street
Lincoln
LN2 1BD

DEPOSITED: 27th June 2016

ACCEPTED: 11th July 2016

TARGET DATE: 5th September 2016

PUBLICITY EXPIRY: 24th August 2016

AGREED EXTENSION OF TIME DATE:

CONSULTATION EXPIRY: 24th August 2016

CASE OFFICER: Richard Limmer

PROPOSAL

This application has been brought to Planning Committee as the applicant, Mr Henry Hudson, is an elected member of North East Lincolnshire Council.

The proposal is to erect a first floor extension over an existing flat roof extension on the rear elevation of the dwelling and replace the roof of the whole dwelling. The new roof would be of a slightly different design to the existing roof but from the public domain would maintain a similar angled pitch and roof materials (pantile).

SITE

Brook End is a detached house located within the village of Hatcliffe within the Lincolnshire Wolds AONB. The house benefits from good sized grounds to the sides and rear but the front elevation steps directly on to the road. To the north of the host property is Cherry Tree Cottage (Grade 2 listed) a modest detached dwelling, to the east on the far side of Main Road is Jay Cottage, a large modern detached house with good grounds. To the south is St Marys church (Grade 1 listed) which is set back within the church yard with the boundaries being well screened with mature trees and hedging. To the west is the small holding associated with Brook End.

RELEVANT PLANNING HISTORY

No relevant planning history

RELEVANT PLANNING POLICIES AND BACKGROUND PAPERS

Government Guidance

NPPF7 - Requiring Good Design

NPPF12 - Conserv. & Enhance Historic Environment

Development Plan

Saved Policies

GEN1 - Development Areas

Paragraph 215 of the NPPF states that due weight should be given to policies in existing plans according to their consistency with the framework. Unless otherwise identified within the report, these policies are considered consistent with the framework and which have the presumption in favour of sustainable development.

REPRESENTATIONS RECEIVED

Drainage - No Comments

No Neighbour Comments

APPRAISAL

1. Principle of Development
2. Impact on Neighbours
3. Impact on the Character of the Area

1. Principle of Development

The site sits within the Development Area Boundary for Hatcliffe on the NELLP 2003 and the proposed extension and new roof are on an existing dwelling. Although a very rural location and set within the Wolds Hatcliffe benefits from a wide range of property type and design. It is considered that, in principle, the proposal to extend and alter the dwelling is in accordance with saved Policy GEN1 of the NELLP 2003.

2. Impact on Neighbours

Cherry Tree Cottage to the north of the site is within the ownership of the applicant but at any rate the proposed roof alterations would not harm the amenities of this dwelling. The proposed rear first floor extension would be visible to the occupants of the property but it is set off the boundary by 3m and is of a reasonable size and scale. The properties opposite, in particular Jays Cottage, would not see the rear extension but would see the new roof. The new roof however, is of a good design and does not significantly change its size or mass and therefore the impacts on the neighbouring properties would be minimal. The proposal is considered to accord with saved Policy GEN1 of the NELLP 2003 as it would not offer any detrimental impacts on the residential amenities of the neighbouring properties.

3. Impact on the Character of the Area

The proposed alterations to the dwelling, in particular the new roof, would offer views to Main Road, but due to the nature and topography of the area the proposed changes would not appear significant. The main potential for impact in terms of character of the area relate to the setting of the adjacent listed buildings; Cherry Tree Cottage and St Marys Church.

Although the host property sits close to Cherry Tree Cottage both are dwellings and fit with the wider character of the village. The proposed extension and new roof would slightly change the appearance of Brook End but not its character and thus the impact would be minimal.

St Marys Church is a grade 1 listed building and as such affords more consideration than other heritage assets nearby. As stated above the proposed development would not significantly change the appearance of Brook End within the street scene. The scheme was originally submitted with a fully pitched roof where the ridge would have been raised by 1.2m however, following negotiations the design has been changed so that the roof height is lower and does not compete with, and therefore harm, the setting of St Marys Church.

It is considered that the proposed development would not harm the setting of either Cherry Tree Cottage or St Marys Church or the wider character of the area in accordance with saved Policies GEN1 and BH5 of the NELLP 2003.

CONCLUSION

In conclusion it is considered that the proposed works are well designed and would not offer harm to the neighbouring properties residential amenities, the setting of the adjacent listed buildings or the wider character of the area. The proposal therefore accords with saved Policies GEN1 BH5 of the NELLP 2003 and the NPPF 2012, it is therefore recommended for approval.

RECOMMENDATION

Approval with Conditions

(1) Condition

The development hereby permitted shall begin within three years of the date of this permission.

Reason

To comply with S.91 of the Town and Country Planning Act 1990.

(2) Condition

The development shall be carried out in accordance with the following plans: F2395-10B

Reason

For the avoidance of doubt and in the interests of proper planning.

(3) Condition

External materials, namely bricks and pantiles, to be used in the construction of the development shall match the existing building, in colour and texture, as specified on the approved plan.

Reason

To ensure the development has an acceptable external appearance and is in keeping with the visual amenity and character of the area in accordance with saved Policy GEN1 of the North East Lincolnshire Local Plan 2003.

Informatives

1 Reason for Approval

The Local Planning Authority has had regard to development plan policies and especially those in the North East Lincolnshire Local Plan 2003. The proposal would not harm the

area character or residential amenity and is acceptable under all other planning considerations. This proposal is approved in accordance with the North East Lincolnshire Local Plan 2003 and in particular saved Policies GEN1 and BH5.

2 Added Value Statement

Article 31(1)(cc) Statement - Positive and Proactive Approach

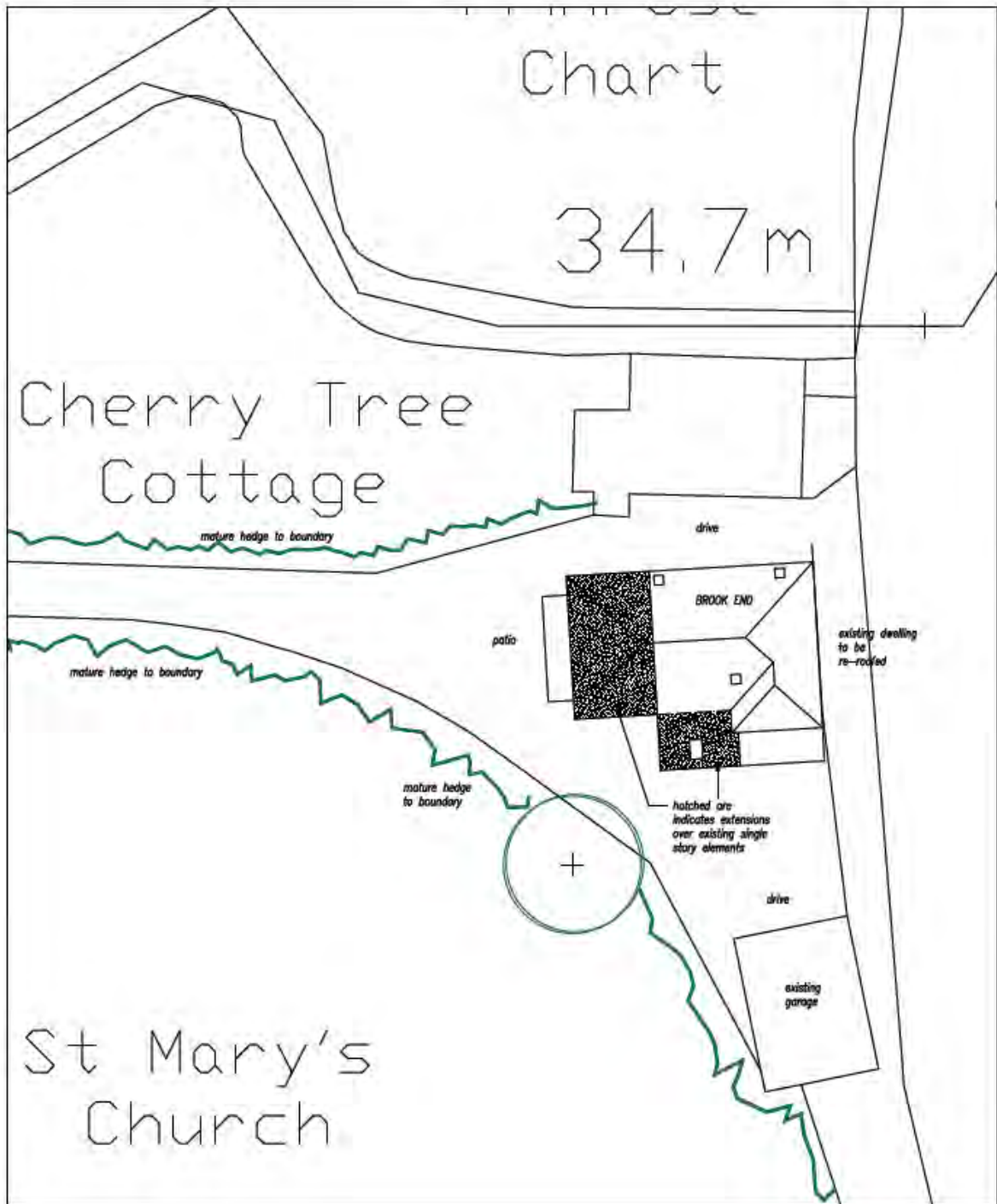
In accordance with paragraph 187 of the National Planning Policy Framework, the Local Authority has worked in a positive and proactive manner with the applicant to seek solutions to problems arising, by negotiating on the design of the development.

DM/0619/16/FUL

BROOK END, MAIN ROAD, HATCLIFFE



DM/0619/16/FUL – BROOKEND, MAIN ROAD, HATCLIFFE



site plan - 1:200